

SECTION

28

CENTRAL BUSINESS DISTRICT DESIGN STANDARDS

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Section 28-1. Intent & Purpose

28-1.01 Planning Goals

The Central Business District (CBD) Design Elements are intended to provide parameters for the physical appearance and development for the City of Raytown Central Business District by:

1. Implementing the goals and policies adopted in the Raytown Comprehensive Plan.
2. Following the Vision identified in the Raytown Central Business District Plan
3. Achieving the quality of development identified by the Raytown community through the Planning Commission's Creating Quality Places Photo presentations
4. Achieving the vision identified by the citizens, business owners and other community volunteers who served on the City of Raytown Central Business District Design Elements Community Task Force.

28-1.02 Design Goals.

The purpose of the CBD Design Elements is to enhance and create a traditional downtown core that forms a commercial and cultural center for the City of Raytown by emphasizing appropriate and complimentary architectural, landscape and site design standards for new and redeveloped properties that:

1. Focus on building and landscaping:
 - A. Buildings and vegetation should be the predominant elements of the downtown area.

- B. Signage and parking facilities should be less prominent.
- 2. Promote pedestrian activity and walkability throughout the Central Business District while also providing pedestrian connections with surrounding neighborhoods.
- 3. Create appropriate building scale and proportion throughout the Central Business District.
- 4. Create a unique identity as development and redevelopment occur within the Central Business District incorporating visually prominent and attractive features through building design and site design that individually and cumulatively create an appealing and attractive area.
- 5. Allow easy access to and from the area via multiple modes of transportation such as pedestrian, bicycle, public transportation and personal vehicle.

Section 28-2 Applicability and Procedures

28-2.01 General

The CBD Design Elements shall apply to new development and redevelopment, as those terms are defined below, on property located in the following area:

Beginning at the northwest corner of the intersection of 59th Street and Raytown Trafficway, extending south and southeast along the western boundary of Raytown Trafficway to the point 110 feet north of the intersection of Raytown Trafficway and East 63rd Street, thence west along an imaginary line to the west right-of-way line of Arlington Avenue, thence south along the west right-of-way line of Arlington the south right-of-way line of East 63rd Street, thence continuing southward along the same line to a point 170-feet south of 63rd Street, thence east parallel to the south right-of-way line of East 63rd Street along a line 170-feet south of East 63rd Street right-of-way to the west right-of-way line of Raytown Trafficway, then south along the west right-of-way line of Raytown Trafficway to Raytown Road, thence north along the eastern boundary of Raytown Road to southeast corner of the intersection of Raytown Road and 63rd Terrace, thence east on the south boundary of 63rd Terrace to the southeast corner of the intersection of 63rd Terrace and Willow, thence north on the east boundary of Willow to the northeast corner of the intersection of Willow and 63rd Street, then north on a line extended from the northeast corner of the intersection of Willow and 63rd Street, a distance of 195 feet, thence west to a point 135.85 feet east of the east boundary of Hadley Street, then north on a line extended parallel to and 135.85 feet east of the east boundary of Hadley Street to the north boundary of 62nd Street, then west on the south boundary of 62nd Street to the east boundary of Blue Ridge Boulevard, then north and northeast on the east boundary of Blue Ridge Boulevard to the north east corner of the intersection

of Blue Ridge Boulevard and 59th Street, then west on the north boundary of 59th Street to the northwest corner of the intersection of 59th Street and Raytown Trafficway, the point of beginning.

28-2.02 New Development

All of the provisions of the CBD Design Elements shall be applicable to the construction of a new building or structure on a vacant site.

28-2.03 Redevelopment

For all development other than the construction of a new building or structure on a vacant site, the provisions of the CBD Design Elements shall be applicable as set forth below.

28-2.04 Commercial redevelopment; less than 25% of the floor area

Unless otherwise specified in each design element standard, where the applicant proposes to construct on property zoned commercial:

1. A new building or structure on a site with an existing building or structure or an addition or expansion to an existing building or structure; and
2. The floor area of the new construction is less than 25% of the floor area of the existing building or structure; then
3. All of the CBD Design Elements shall apply to the new construction; and
4. The following provisions of the CBD Design Elements shall apply to the existing building(s) or structure(s) and the existing site:

Commercial Site Design Standards

Consolidating Parking Facilities
Location of Driveways
Parking Lot Landscape
Pedestrian Connections
Site Landscape Areas
Sidewalk Paving

Commercial Building Design Standards

Colors

Commercial Sign Design Standards

Integration with Architecture
Sign Design
Artistic Elements

28-2.05 Commercial redevelopment; at least 25% but less than 50% of the floor area

Unless otherwise specified in each design element standard, where the applicant proposes on property zoned commercial:

1. A new building or structure on a site with an existing building or structure or an addition or expansion to an existing building or structure; and
2. The floor area of the new construction is at least 25% but less than 50% of the floor area of the existing building or structure; then
3. All of the provisions of the CBD Design Elements shall be applicable to the new construction; and
4. The following provisions of the CBD Design Elements shall apply to the existing building(s) or structure(s) and the existing site:

Commercial Site Design Standards

Consolidating Parking Facilities
Location of Driveways
Parking Lot Landscape
Pedestrian Connections
Site Landscape Areas
Street Trees
Sidewalk Paving
Site Furnishings
Courtyards, Plazas and Open Space

Commercial Building Design Standards

Weather Protection
Ground Level Details
Backsides of Buildings
Screen Blank Walls
Colors

Commercial Sign Design Standards

Integration with Architecture
Sign Design
Artistic Elements

28-2.06 Commercial redevelopment; 50% or more of the floor area

Unless otherwise specified in each design element standard, where the applicant proposes to construct on property zoned commercial:

1. A new building or structure on a site with an existing building or structure or an addition or expansion to an existing building or structure; and

2. The floor area of the new construction is 50% or more of the floor area of the existing building or structure; then
3. All the provisions of the CBD Design Elements shall apply to the new construction, the existing building, and the existing site.

28-2.07 Commercial redevelopment; other improvements

Where the applicant proposes to improve property zoned commercial, without constructing an expansion to a building or structure, and these CBD Design Elements regulate the improvement, then the provisions of the CBD Design Elements shall apply only to the improvement. For example, where the applicant proposes to improve existing property by constructing a new parking area, loading dock, service area, or outdoor storage area, or by changing the exterior of existing property, the provisions of this Section 28 shall regulate the new construction or exterior change.

28-2.08 Commercial redevelopment; signs only

Where the applicant proposes to construct only a new sign on property zoned commercial, the provisions of the CBD Design Elements regarding signs shall apply to the entire site.

28-2.09 Commercial redevelopment; parking areas

Where the applicant proposes on property zoned commercial to expand an existing gravel or paved parking area or driveway, or to pave an existing gravel parking area or driveway, and the expansion or paving will result in an increase in the volume or velocity of storm water runoff, the CBD Design Elements shall apply only to the area to be paved.

28-2.10 Residential redevelopment; less than 25% of the floor area

Unless otherwise specified in each design element standard, where the applicant proposes to construct on property zoned residential:

1. A new building or structure on a site with an existing building or structure or an addition or expansion to an existing building or structure; and
2. The floor area of the new construction is less than 25% of the floor area of the existing building or structure; then
3. All of the CBD Design Elements shall apply to the new construction; and
4. The following provisions of the CBD Design Elements shall apply to the existing building(s) or structure(s) and the existing site:

Residential Site Design Standards

Private Outdoor Space
Site Landscape Areas

Location of Driveways
Parking Lot Landscape
Pedestrian Connections

Residential Building Design Standards

Windows and Doors

28-2.11 Residential redevelopment; at least 25% but less than 50% of the floor area

Unless otherwise specified in each design element standard, where the applicant proposes to construct on property zoned residential:

1. A new building or structure on a site with an existing building or structure or an addition or expansion to an existing building or structure; and
2. The floor area of the new construction is at least 25% but less than 50% of the floor area of the existing building or structure; then
3. All of the provisions of the CBD Design Elements shall be applicable to the new construction; and
4. The following provisions of the CBD Design Elements shall apply to the existing building(s) or structure(s) and the existing site:

Residential Site Design Standards

Front Yards –Depth
Private Outdoor Space
Site Landscape Areas
Location of Driveways
Parking Lot Landscape
Parking Facility Lighting
Courtyards, Plazas and Open Space
Pedestrian Connections

Residential Building Design Standards

Windows and Doors
Ground Level Details (When Ground Floor is Commercial)

28-2.12 Residential redevelopment; at 50% or more of the floor area

Unless otherwise specified in each design element standard, where the applicant proposes to construct on property zoned residential:

1. A new building or structure on a site with an existing building or structure or an addition or expansion to an existing building or structure; and

2. The floor area of the new construction is 50% or more of the floor area of the existing building or structure; then
3. All the provisions of the CBD Design Elements shall apply to the new construction, the existing building, and the existing site.

28-2.13 Residential redevelopment; other improvements

Where the applicant proposes to improve property zoned residential, without constructing an expansion to a building or structure, and these CBD Design Elements regulate the improvement, then the provisions of the CBD Design Elements shall apply only to the improvement. For example, where the applicant proposes to improve existing property by constructing a new parking area or open space area, or by changing the exterior of existing property, the provisions of this Section 28 shall regulate the new construction or exterior change.

28-2.14 Residential redevelopment; signs only

Where the applicant proposes to construct only a new sign on property zoned residential, the provisions of the CBD Design Elements regarding signs shall apply to the entire site.

28-2.15 Residential redevelopment; paving

Where the applicant proposes on property zoned residential to expand an existing gravel or paved parking area or driveway, or to pave an existing gravel parking area or driveway, and the expansion or paving will result in an increase in the volume or velocity of storm water runoff, the CBD Design Elements shall apply only to the area to be paved.

28-2.16 Preliminary Site Plan; When Required

A preliminary site plan, reviewed by the Planning Commission and approved by the Board of Aldermen, is required for:

1. The rezoning of:
 - A. Any property to a commercial district or from one commercial district to another commercial district; or
 - B. Any property to a residential district if more than two dwelling units are located on a single lot.
2. Construction of a new building or structure if:
 - A. The property is zoned commercial; or
 - B. The property is zoned residential and more than two dwelling units are located on a single lot.

3. Construction of an expansion or enlargement to an existing building or structure if:
 - A. The property is zoned commercial; or
 - B. The property is zoned residential and more than two dwelling units are located on a single lot.
4. An application for a conditional use permit.
5. Construction of any building or structure that requires approval of an alternative to a standard specified in this Section 28.
6. Construction of gated parking facilities or gated portions of parking facilities.
7. Exceptions to the above-specified requirements for submittal of a preliminary site plan are as follows:
 - A. The Community Development Director may approve an exception to the requirement of a preliminary development plan for the expansion or enlargement of an existing building or structure if the new development is less than 25% of the floor area of the existing building or structure; the enlargement or expansion will not increase traffic; and is not located on the front of the property.
 - B. No preliminary development plan is required where the City initiates a rezoning of property.
8. Where a preliminary site plan is not required, the applicant shall submit the information requested by the Director of Community Development, sufficient to determine whether the development is in compliance with the CBD Design Elements.

28-2.17 When a Preliminary Site Plan Is Not Required

1. When a preliminary site plan is not required for property zoned commercial or residential, the applicant shall submit the following information, for the area to be improved:
 - A. A plot plan.
 - B. Information sufficient to show that public utilities are available to the property to be developed.
 - C. All existing and proposed internal and adjacent rights-of-way, including location, width, centerline, curb cuts median breaks, turning lanes and radii.

- D. All existing and proposed internal and adjacent private drives, including location, width, centerline, curb cuts median breaks, turning lanes and radii.
- E. All existing and proposed, internal and adjacent, public and private sidewalks and pedestrian ways, including location and width.
- F. All existing or proposed public or private easements, including location, width and centerline.
- G. All existing and proposed buildings or structures, including location, dimensions, number of stories and area.
- H. All distances between buildings, buildings and property lines, and building and parking areas.
- I. All existing and proposed parking areas, including spaces and handicap spaces, dimensions, and a schedule showing the total number of spaces and handicap spaces.
- J. All distances between parking areas, parking areas and property lines, and parking areas and buildings.
- K. Area of land in square feet and the ratio of lot coverage.
- L. Any areas located within the 100-year flood plain.
- M. All existing and proposed screening, buffering and or open spaces.
- N. All existing and proposed storm water collection, detention, and retention facilities, including location, dimensions, and capacity.
- O. Typical elevations of all existing and proposed buildings and structures, including exterior building / structure materials and roofing materials.
- P. Drawings showing the location, dimensions, size, type and materials for all exterior signage.
- Q. All existing and proposed landscaping, on a separate landscaping plan, including size, species, location and number.
- R. All existing and proposed trash enclosures, including location, dimensions and materials.
- S. Any information required by the Director of Community Development to determine whether the preliminary site plan is in compliance with the ordinances of the City.

2. The information shall be submitted to the Community Development Department.
3. Staff shall review the information submitted and shall approve the development if it meets the standards set forth in the CBD Design Elements.

28-2.18 Preliminary Site Plan; Applications – Contents and Submission Requirements

An application for approval of a preliminary site plan shall contain the following information:

1. All information required by Section 23 of the Comprehensive Zoning Regulations for a rezoning application.
2. North arrow and scale, vicinity map, name of design professional who prepared the drawings, and the seal of a design professional licensed in the State of Missouri.
3. Existing and proposed contours of the site at two (2) foot intervals or less.
4. All existing and proposed internal and adjacent rights-of-way, including location, width, centerline, curb cuts median breaks, turning lanes and radii.
5. All existing and proposed internal and adjacent private drives, including location, width, centerline, curb cuts median breaks, turning lanes and radii.
6. All existing and proposed, internal and adjacent, public and private sidewalks and pedestrian ways, including location and width.
7. All existing or proposed public or private easements, including location, width and centerline.
8. All existing and proposed buildings or structures, including location, dimensions, number of stories and area.
9. All distances between buildings, buildings and property lines, and building and parking areas.
10. All existing and proposed parking areas, including spaces and handicap spaces, dimensions, and a schedule showing the total number of spaces and handicap spaces.
11. All distances between parking areas, parking areas and property lines, and parking areas and buildings.
12. Area of land in square feet and the ratio of lot coverage.

13. All existing and proposed public and private streets, medians, driveways, curbcuts and turn lanes within 185 feet of the property.
14. Any areas located within the 100-year flood plain.
15. All existing and proposed screening, buffering and or open spaces.
16. All existing and proposed storm water collection, detention, and retention facilities, including location, dimensions, and capacity.
17. Typical elevations of all existing and proposed buildings and structures, including exterior building / structure materials and roofing materials.
18. All existing and proposed signage by location and type (i.e. wall sign, monument sign, etc.).
19. All existing and proposed landscaping, on a separate landscaping plan, including size, species, location and number.
20. All existing and proposed trash enclosures, including location, dimensions and materials.
21. A statement as to whether public utilities are available to the property.
22. An analysis of the capacity of the sanitary sewer receiving system.
23. To the extent that the proposed development will be phased, a phasing schedule.
24. Any information required by the Director of Community Development to determine whether the preliminary site plan is in compliance with the ordinances of the City.
25. To the extent that any permitted alternative to the CBD Design Elements is proposed, a narrative stating the section under which the alternative is permitted and an explanation of why the alternative should be approved by the Board of Aldermen.
26. A copy of the preliminary site plan reduced to 8½ by 11.
27. The number of full-size copies of the preliminary site plan requested by the Director of Community Development, sufficient to permit review by staff, the Planning Commission, and the Board of Aldermen.
28. An electronic copy of the preliminary site plan in a format requested by the Director of Community Development.
29. The names and addresses of all property owners located within 185 feet of the property.

28-2.19 Preliminary Site Plan; Review and Approval

1. Review and approval of a preliminary site plan by the Planning Commission and Board of Aldermen shall be in the same manner as that required for approval of a rezoning as specified in Section 23 of the Comprehensive Zoning Regulations.
2. The Planning Commission may recommend approval, conditional approval or denial of a preliminary site plan application.
3. The Board of Aldermen may approve, conditionally approve or deny a preliminary site plan application.
4. Approval of a preliminary site plan shall be in the form of an ordinance.
5. If, and only if, an alternative to the CBD Design Elements is specifically permitted to be approved by the terms of this Section 28, the alternative may be recommended by the Planning Commission and approved by the Board of Aldermen as part of the preliminary site plan, when either:
 - A. The Board of Aldermen determines in its legislative capacity that the intent and purpose of these provisions has been met through the use of alternative materials; alternative design; or alternative construction methods; or
 - B. The Board of Aldermen determines in its legislative capacity that the cost of compliance with these regulations is unduly prohibitive, as compared to the total investment in the building and site, due to conditions beyond the control of the applicant.
6. The Planning Commission may recommend and the Board of Aldermen may in its legislative capacity increase the requirements of this Section 28 where necessary for:
 - A. The protection of public health, safety and welfare; or
 - B. The normal and orderly development of the subject property and surrounding properties.
7. Approval of a preliminary site plan shall be valid for a period of twenty-four (24) months from the date of such approval, except that:
 - A. If a final site plan is approved for the area within the preliminary site plan, the preliminary site plan shall be valid so long as the final site plan is valid.
 - B. A majority of the Board of Aldermen may by resolution approve an extension not to exceed twelve (12) months at the applicant's request.

- C. A majority of the Board of Aldermen may approve an alternative phasing plan for the development that specifies the period for which the preliminary site plan shall be valid, either as part of the preliminary site plan approval or by resolution at the applicant's later request.

28-2.20 Revised Preliminary Site Plan; Review and Approval.

1. Where a preliminary site plan has been approved, a substantial change to the preliminary site plan may be approved only in the same manner as that required for approval of the original preliminary site plan.
2. Where a preliminary site plan has been approved, a change, which is not a substantial change, may be approved in writing by the Director of Community Development.

28-2.21 Final Site Plan; When Required

A final site plan is required prior to any development on property for which a preliminary site plan is required or has been approved.

28-2.22 Final Site Plan; Applications – Contents and Submission Requirements

An application for approval of a final site plan shall contain the following information:

1. North arrow and scale, vicinity map, name of design professional who prepared the drawings, and the seal of a design professional licensed in the State of Missouri.
2. Existing and proposed finish grades of the site at intervals of two (2) feet or less.
3. All existing and proposed internal and adjacent rights-of-way, including location, width, centerline, curb cuts, median breaks, turning lanes and radii.
4. All existing and proposed internal and adjacent private drives, including location, width, centerline, curb cuts, median breaks, turning lanes and radii.
5. All existing and proposed, internal and adjacent, public and private sidewalks and pedestrian ways, including location and width.
6. All existing or proposed public or private easements, including location, width and centerline.
7. All existing and proposed buildings or structures, including location, dimensions, number of stories and area.
8. All distances between buildings, buildings and property lines, and building and parking areas.

9. All existing and proposed parking areas, including spaces and handicap spaces, dimensions, and a schedule showing the total number of spaces and handicap spaces.
10. All distances between parking areas, parking areas and property lines, and parking areas and buildings.
11. Area of land in square feet and percentage of green space.
12. All existing and proposed public and private streets, medians, driveways, curbcuts and turning lanes within 185 feet of the property.
13. Any areas located within the 100-year flood plain.
14. All existing and proposed screening, buffering and open spaces.
15. All existing and proposed storm water collection, detention, and retention facilities, including location, dimensions, capacity and final plans, along with erosion control plans.
16. Elevations of all existing and proposed buildings, including exterior building and roofing materials.
17. All existing and proposed landscaping, on a separate landscaping plan, including size, species, location and number.
18. Location, dimensions, size and materials for any existing and proposed retaining walls.
19. Drawings showing the location, dimensions, size, type and materials for all exterior signage.
20. All existing and proposed trash enclosures, including location, dimensions and materials.
21. A statement from each applicable public utility that the site either is or will be served by the public utility.
22. Final analysis of the capacity of the sanitary sewer receiving system and final sanitary sewer plans.
23. Location of existing and proposed fire hydrants.
24. Location, dimensions and materials for all ground and rooftop mechanical equipment and screening.
25. To the extent that the proposed development will be phased, a phasing schedule.

26. Any information required by the Director of Community Development to determine whether the final site plan is in compliance with the ordinances of the City.
27. To the extent that an alternative to the CBD Design Elements is specifically permitted by the terms of this Section 28, and the applicant is seeking approval of an alternative, a statement of the specific section under which an alternative may be approved and a narrative of how the proposed alternative will meet the intent of the CBD Design Element.
28. To the extent that any change from the preliminary site plan is proposed, a narrative explaining why the proposed change is not a substantial change.
29. A copy of the preliminary site plan reduced to 8½ by 11.
30. The number of full-size copies of the final site plan requested by the Director of Community Development, sufficient to permit review by staff, the Planning Commission, and the Board of Aldermen.
31. An electronic copy of the final site plan in a format requested by the Director of Community Development.

28-2.23 Final Site Plan; Review and Approval

1. A final site plan containing no substantial changes from the preliminary site plan may be reviewed and approved by the Planning Commission. A public hearing is not required.
2. The Planning Commission may approve, conditionally approve, or deny a final site plan application.
3. If, and only if, an alternative to the CBD Design Elements is specifically permitted by the terms of this Section 28 and an alternative was approved by the Board of Aldermen as part of the preliminary site plan, the Planning Commission may approve a change to the approved alternative, if the Planning Commission determines:
 - A. The change to the approved alternative does not conflict with the terms of the ordinance approving the preliminary site plan; and
 - B. The change to the approved alternative is not a substantial change from the preliminary site plan; and
 - C. Either the intent and purpose of these regulations is still met through the use of alternative materials; alternative design; or alternative construction methods; or the cost of compliance with the provisions of these regulations is still unduly prohibitive as compared to the total investment

in the building and site, due to conditions beyond the control of the applicant.

4. Approval of a final site plan shall be valid for a period of twelve (12) months from the date of such approval, except that:
 - A. If a building permit is issued for construction within the area covered by the final site plan, and substantial construction is commenced, the final site plan shall be valid so long as the building permit is valid.
 - B. A majority of the Board of Aldermen may by resolution approve an extension not to exceed twelve (12) months at the applicant's request.
 - C. A majority of the Board of Aldermen may approve an alternative phasing plan that specifies the period for which the final site plan shall be valid, either as part of the preliminary site plan approval or by resolution at the applicant's later request.

28-2.24 Final Site Plan; Appeal of Planning Commission Decision

1. An applicant may appeal the decision of the Planning Commission to approve, conditionally approve or deny a final site plan to the Board of Aldermen by filing a written request with the City Clerk no later than five (5) business days after the Planning Commission's decision. Upon receipt of a proper and timely appeal from the applicant, the City Clerk shall place the final site plan application on a Board of Aldermen agenda, for review. The item shall be placed on the agenda for a regularly scheduled meeting of the Board of Aldermen no sooner than seven (7) calendar days and no later than thirty (30) calendar days after receipt of the appeal, but in no event shall the Board of Aldermen be required to schedule a special meeting to hear the appeal.
2. A member of the Board of Aldermen may appeal a decision of the Planning Commission to approve, conditionally approve or deny a final site plan to the Board of Aldermen by filing a written request with the City Clerk no later than five (5) business days after the Planning Commission's decision. Upon receipt of a proper and timely appeal from a member of the Board of Aldermen, the City Clerk shall place a Board of Aldermen agenda, a discussion item regarding whether the full Board will hear the appeal. The discussion item shall be placed on the agenda for a regularly scheduled meeting of the Board of Aldermen no sooner than seven (7) calendar days and no later than thirty (30) calendar days after receipt of the appeal, but in no event shall the Board of Aldermen be required to schedule a special meeting to hear the discussion item. If a majority of the Board of Aldermen agrees to hear the appeal, the final site plan application shall be placed on the agenda for the following, regularly scheduled meeting of the Board of Aldermen.

3. If the decision of the Planning Commission is reviewed by the Board of Aldermen, the Board of Aldermen may approve, conditionally approve or deny a final site plan application in the same manner as provided for review and approval by the Planning Commission. No public hearing is required.
4. During the five (5) day period during which an appeal may be filed, no permits may be issued for the area within the final site plan.

28-2.25 Definition of substantial change

For purposes of this Section 28, a “substantial change” shall mean:

1. A change that requires approval of an alternative to the CBD Design Elements which is specifically permitted by the terms of this Section 28, except that where the Board of Aldermen has approved an alternative as part of the preliminary site plan, the Planning Commission may approve a change to the alternative as specified in this Section 28, provided the change is not otherwise a substantial change.
2. A change that rearranges the overall layout of buildings, structures, parking areas or open space.
3. A change that increases the density of any residential development by 10% or more.
4. A change that increases the amount of impervious surface of a commercial development by 10% or more.
5. A change that increases or decreases the floor area or footprint of any building by 10% or more.
6. A change that increases or decreases the height of any building by 25% or more or adds or subtracts a story.
7. A change of the primary exterior building or roofing materials from one type of material to another type of material.
8. A change to the coverage area for a particular type of exterior building material by 10% or more.
9. A change in patterns or phases of development that will impose greater demands on public infrastructure, including streets, storm water or sanitary sewer facilities.
10. An increase or decrease of any setback by 25% or more, provided that an increase or decrease of one (1) foot or less shall not be considered a substantial change and may be approved by staff, provided that the staff shall document the same in writing, and an increase or decrease of more than one (1) foot but less than 25% may be approved by the Planning Commission.

11. A decrease of an individual open space area by 10% or more.
12. The Community Development Director, in his/her sole discretion may determine that changes are significant enough to constitute a “substantial change”. If the Community Development Director so determines, the decision shall be rendered in writing.

Section 28-3 Definitions

The following words and terms herein defined pertain to the words and terms found in the standards of the CBD Design Elements.

1. **Accent:** A device (e.g., color, texture, light) used to visually emphasize the location or shape of a building feature, to visually interrupt the continuity of a surface, or to visually connect or harmonize separate elements.
2. **Alley:** A thoroughfare through the middle of a block giving access to the rear of lots or buildings.
3. **Architectural Elements:** Three-dimensional structural embellishments that add detail and/or finely scaled features to a façade. Examples are corbelled brick, plinths, cornices, belt courses, decorative medallions, brackets, kick plate, pilasters, column bases and caps.
4. **Articulation:** Shifts in the plane of walls, setbacks, stepbacks, reveals, overhangs, and details in order to create variations in a building’s façade.
5. **Belt Courses:** An architectural element extending horizontally across a building façade that helps to architecturally differentiate floor levels of a building.
6. **Blank Walls:** Walls without windows, plantings or architectural elements, such as modulation features. For purposes of the CBD Design Elements, any uninterrupted stretch of a wall extending for at least thirty-feet (30') shall be considered a blank wall.
7. **Body:** All surfaces of a building, except the roof, doors, and windows; and for purposes of specifying color, excluding areas designated as “accent” or “trim.”
8. **Bollard:** Any of a series of short posts set at intervals to delineate an area or to exclude vehicles.
9. **Bulk:** The mass or volume of a building or structure.

10. **Clerestory:** A smaller window located directly above another window that is used chiefly as a device for obtaining extra light.
11. **Color:** The appearance of objects or light sources as perceived by the individual and involving hue, lightness, and saturation for objects and hue, brightness, and saturation for light sources.
12. **Community Development Director (or Director of Community Development):** The person designated as the department director for the Community Development Department, or his/her designee.
13. **Coniferous Plant Material:** Any of an order (Coniferales) of mostly evergreen trees and shrubs including forms (as pines) with true cones and others (as yews) with an arillate fruit.
14. **Corbelled Brick:** Brick that extends upward and outward from a vertical surface, such as a wall, and supports weight, such as a cornice.
15. **Cornice:** A top course that crowns a wall.
16. **Dark:** Reflecting only a small fraction of incident light; of a shade tending toward black in comparison with other shades.
17. **Decorative Lighting:** Lighting that is intended to accent the buildings or area in which it is located and blends with the overall design of the building / area.
18. **Defensible Entry:** A walkway to a building or area that provides a person with the ability to anticipate a path of travel, its obstructions, and points of vulnerability before moving through the space.
19. **Defensible Space:** Areas made secured or safe through design characteristics by allowing an occupant to control or limit access to the area.
20. **Dormer Window:** A vertical window that projects from a sloping roof, placed in a small gable.
21. **Façade:** The exterior of a building.
22. **Festival Lighting:** Seasonal, decorative lighting (e.g. Christmas lights) used to accentuate a seasonal or holiday display or event. Festival lighting shall not serve as year-round or primary lighting. Spotlights, lasers and similar types of lighting are not festival lighting.
23. **Festival Signs:** Decorative signs (e.g. Raytown Round-Up Days) used to accentuate a seasonal or community festival display or community event. Festival signs shall be considered temporary signs as defined by the City

of Raytown sign regulations and shall not serve as year-round or primary signage for a property or business.

24. **Food Establishment:** Restaurants, cafés, bistros or other establishments that serve food to the public.
25. **Gable:** The vertical triangular portion of the end of a building having a double spaced roof, extending from the level of the cornice or eaves to the ridge of the roof.
26. **Hue:** The property of colors by which they can be perceived as ranging from red through yellow, green, and blue, as determined by the dominant wavelength of the light.
27. **Kick Plate:** The area on a façade located between the ground and a window that has a different architectural appearance and/or is set on a different plane than the façade material(s) located to either side.
28. **Landscaped Borders:** Shrubs, trees, grass or other vegetation that is located along the edge of an area such as a parking lot or pedestrian walkway.
29. **Lightness:** The dimension of the color of an object by which the object appears to reflect or transmit more or less of the incident light, varying from black to white for surface colors and from black to colorless for transparent volume colors.
30. **Lintel:** A horizontal structural feature (such as a beam) over an opening that carries the weight of the wall above it.
31. **Mass:** The physical volume or bulk of a building.
32. **Medallion:** A tablet or panel in a wall or window bearing a figure in relief, an emblem, or an ornament.
33. **Modulation:** Variations of a building's mass through the use of deep setbacks, diminishing upper floor areas, and/or projecting roof overhangs.
34. **Mullion:** A member dividing a window or other opening.
35. **Parapet Wall:** That portion of the building façade extending above the roof.
36. **Pergola:** A structure usually consisting of parallel colonnades supporting an open roof of girders and cross rafters.

37. **Pilaster:** An upright architectural member that is structurally a pier but architecturally treated as a column and usually projects a third of its width or less from a wall.
38. **Plinth:** The lower part of a wall, pier, or column considered as a separate architectural feature.
39. **Portico:** A porch or walkway with a roof supported by columns, often leading to the entrance of a building.
40. **Primary Pedestrian Street:** Streets characterized by such elements as: sidewalks; street trees; pedestrian-scaled lighting; street furnishings; continuous storefronts; weather protection; unique, small-scaled signs; and window furnishings; all of which are intended to support pedestrian activity throughout the day and into the evening. Within the Raytown CBD, the following streets are designated as Primary Pedestrian Streets:
- A. Blue Ridge Boulevard from 63rd Street to 59th Street
 - B. Raytown Road
 - C. 59th Street
 - D. 63rd Street
41. **Proportion:** A relationship between the size of buildings, structures and elements of buildings or structures that form a harmonious relation that creates symmetry.
42. **Saturation:** Vividness of hue; degree of difference from a gray of the same lightness or brightness.
43. **Shade:** A gradation of a hue made by adding black to it to lessen its saturation.
44. **Site Furnishings:** Benches, art, trash containers, or other structures or items that are placed within an area.
45. **Through-Block Passageway:** A paved pathway dedicated to pedestrians and separated from vehicles that extend entirely through a block from a street to a parallel street, alley or parking area.
46. **Tint:** A gradation of a hue made by adding white to it to lessen its saturation.
47. **Tone:** A gradation of a hue made by adding gray to it to lessen its saturation.
48. **Town Square Neighborhood:** The area defined as such in the Raytown Comprehensive Plan.

49. **Transom:** A window located between a door and the ceiling.
50. **Trellis:** An arrangement that forms or gives the effect of a lattice and is used as a screen or as a support for climbing plants
51. **Trim:** Solid material used to cover seams, gaps, or rough edges; to provide a transition between surfaces in different planes; or to provide decorative shapes to terminate or interrupt plane surfaces.
52. **Value:** The relative lightness or darkness of a color.
53. **Vision Glass:** A type of glass with a high degree of transparency and which does not have dark tinting or highly reflective coatings or applied film. The intent is to be able to see into the interior space throughout the day and night. If shading is desired, it is to be accomplished by other means, such as through the use of awnings.
54. **Wayfinding:** Visual features that lead a person to an area or location.
55. **Year-Round Sight Barrier:** An area comprised at least in part of coniferous plant materials (as opposed to deciduous plant materials), fence or combination thereof, providing a visual screen of an area(s) the entire year. The sight barrier may or may not be 100 percent opaque depending upon the density of the coniferous plant materials.

Section 28-4 Commercial Site Design Elements

The following are design elements for commercial development and redevelopment.

28-4.01 Location of Parking Facilities

1. Intent: To maintain a contiguous, active pedestrian street front by locating parking facilities behind buildings.

2. Standard:

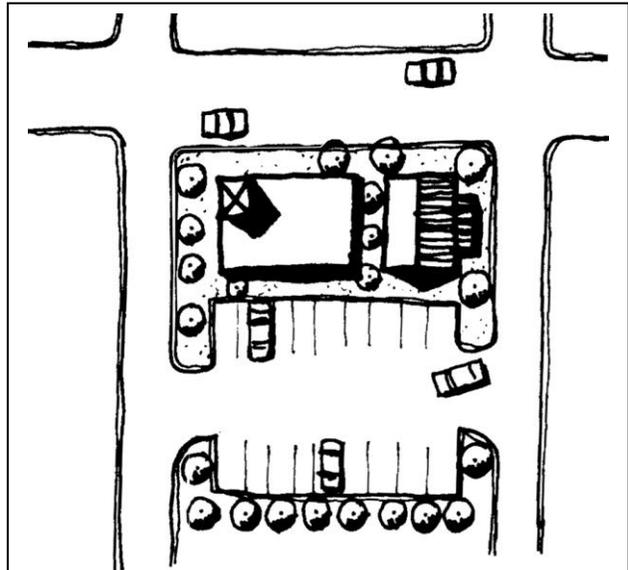
A. Required:

(1) New Development – Parking facilities shall be located behind buildings. The Board of Aldermen as part of the preliminary site plan may approve an alternative to this design standard.

(2) Redevelopment – Parking facilities shall be relocated behind buildings. The Board of Aldermen as part of the preliminary site plan may approve an alternative to this design standard.

(3) If a alternative is approved and parking is allowed to remain in front of or beside buildings, parking facilities shall provide a 10 foot wide planting area between the parking facility and street right-of-way to include:

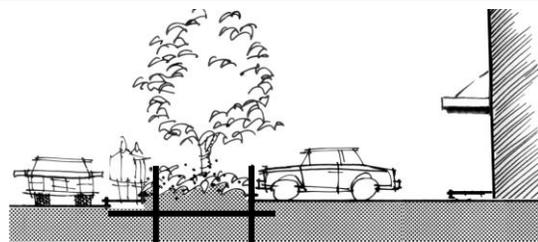
- a. A year-round sight barrier;
- b. Evergreen shrubs;
- c. Evergreen ground cover; and
- d. Shrub material maintained at a maximum height of 3 feet for visibility.



Parking located behind building



Planting area between parking and street right-of-way



Landscape planting area

- (4) All parking lots (new development and redevelopment) shall comply with the parking lot design standards set forth in the City of Raytown Zoning Ordinance including, but not limited to interior landscape areas, wheel stops, number of stalls and plant material requirements.
- (5) Rocks, pebbles, sand and similar non-living materials may be allowed as accent features within landscape planting areas but should be less than 5% of the total landscape planting area but in no case shall exceed 25% of the total landscape planting area..

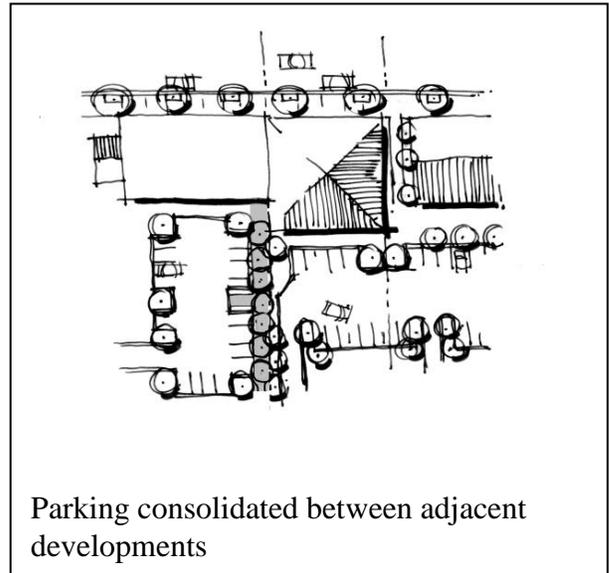
28-4.02 Consolidating Parking Facilities

- 1. Intent: To reduce the overall impact of parking within the CBD by consolidating parking facilities whenever possible.

- 2. Standard:

- A. Required:

- (1) Where parking facilities are consolidated (shared) the following shall apply:
 - a. The combined number of parking stalls required shall be reduced by 10%, if two properties consolidate (share) parking.
 - b. The combined number of parking stalls may be reduced by up to 25%, at the discretion of the applicant, if more than two properties consolidate (share) parking.
 - c. Pedestrian connections shall be provided from parking facility to adjacent development.
 - (2) Where parking facilities are not consolidated and are adjacent to one another:
 - a. Pedestrian connections shall be provided between adjoining parking facilities so as to provide access to each adjacent development; and
 - b. Driveways providing vehicular access from one parking area to the other shall be provided.



28-4.03 Location of Driveways

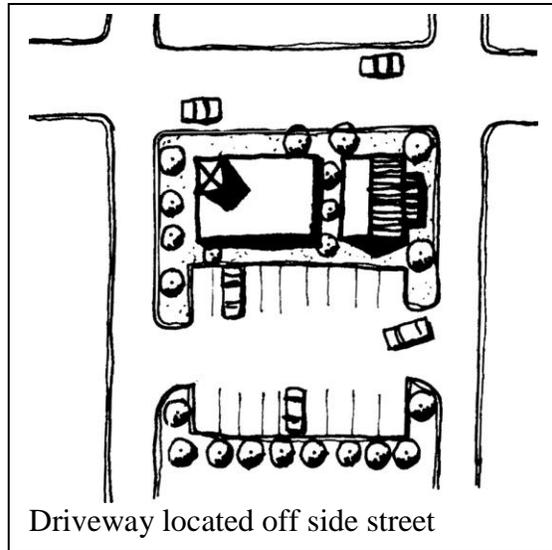
1. Intent: To maintain a contiguous, uninterrupted sidewalk by minimizing, consolidating and/or eliminating driveway access off Primary Pedestrian Streets.

2. Standards:

A. Required:

(1) All vehicular driveways shall be located off side streets and alleys unless one of the following applies:

- a. The only means of access to the site is from a Primary Pedestrian Street;
- b. A development is located at the corner of two Primary Pedestrian Streets;
- c. The driveway is consolidated (shared) between adjacent developments; or
- d. The property cannot be accessed from a side street, alley or shared drive.



(2) Where a driveway is allowed on Primary Pedestrian Streets, driveway entrances shall:

- a. Include an identifying feature of low-maintenance materials, such as an iron-work trellis, monument, low wall/column or special landscape treatment; and
- b. Extend sidewalk-paving material/treatment across the driveway entrance.

(3) If used for identifying features in #2a above, the combination of walls and shrubs/ground cover shall not exceed a maximum height of 4 feet, unless all of the following are provided:

- a. Wall/landscape treatment does not create a safety hazard;
- b. Portion of wall/landscape treatment that is above 4 feet in height is a minimum 75% transparent (i.e. see-through metal railing, trellis, or other similar treatment); and

- c. Portion of wall/landscape treatment that is above 4 feet in height provides added visual interest, detail and character.
- (4) The width of the driveway(s) shall be of sufficient width to allow two vehicles to safely and easily pass and shall be designed in accordance with the City of Raytown Permitting, Development Design Criteria & Technical Specifications Manual.
 - (5) Entrance drives shall provide a throat length that allows for efficient ingress and egress free from parking spaces backing into the drive.

B. Encouraged:

- (1) Adjacent developments should consolidate (share) vehicular driveways where feasible.
- (2) Limited reflective materials are allowed to help define driveway spaces when needed for pedestrian, bicycle or vehicular safety purposes.

C. Not Allowed:

- (1) No additions required in the Location of Driveways Standards will be permitted to block vehicular, bicycle or pedestrian sight lines.

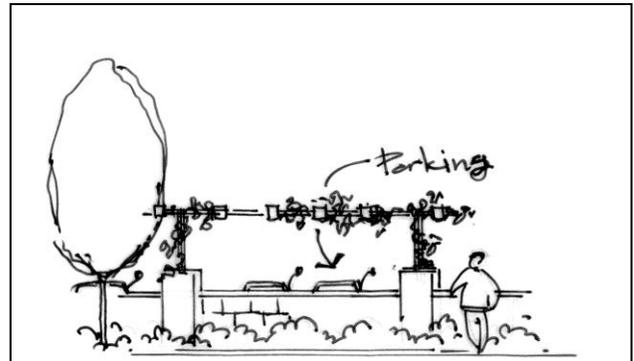
28-4.04 Parking Lot Landscape

- 1. Intent: Reduce the visual impact of parking lots through landscape areas, trellises and/or other architectural features and to visually maintain a building line along the street.
- 2. Standard:

A. Required:

- (1) Parking lot landscape shall be used to reinforce pedestrian, bicycle and vehicular circulation, such as:
 - a. Parking lot entrances;
 - b. Ends of driving aisles; and
 - c. To define pedestrian connections through parking lots.
- (2) Where walls are provided, landscape-planting areas may be reduced to a minimum width of 5 feet and shall be located adjacent to the public right-of-way. Low walls (minimum 3 feet high) used to screen parking lots shall be made of decorative concrete, masonry or other similar material to coordinate with adjacent buildings.
- (3) The combination of walls and shrubs/ground cover shall not exceed a maximum height of 4 feet, unless all of the following are provided:

- a. Wall/landscape treatment does not create a safety hazard;
- b. Portion of wall/landscape treatment that is above 4 feet in height is a minimum 75% transparent (i.e. see-through metal railing, trellis, or other similar treatment); and
- c. Portion of wall /landscape treatment that is above 4 feet in height provides added visual interest, detail and character.



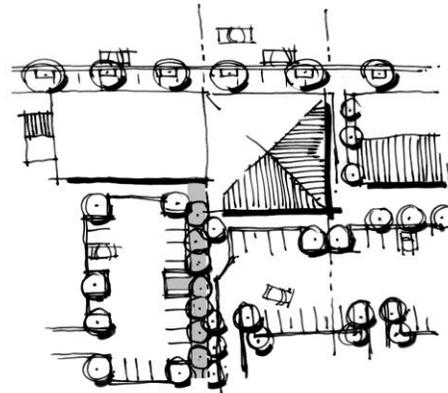
Wall Treatment

- (4) For any wall above 6 feet total height, the entire wall façade shall comply with the building design standards set forth in the CBD Design Standards for ground level details, materials, color, etc.



Landscape used to define end of driving aisle

- (5) A minimum 5-foot wide landscape planting area shall be provided between parking lots and adjacent developments to include a year-round sight barrier and meeting the requirements for parking lot landscape provided in the Raytown Landscape Ordinance.



Landscape planting area between adjacent developments

B. Encouraged:

- (1) Automatic watering systems should be installed in all landscape planting areas.

C. Not Allowed:

- (1) Business signage on parking lot walls facing the street are not permitted.
- (2) Chain link and wire fencing shall not be allowed.

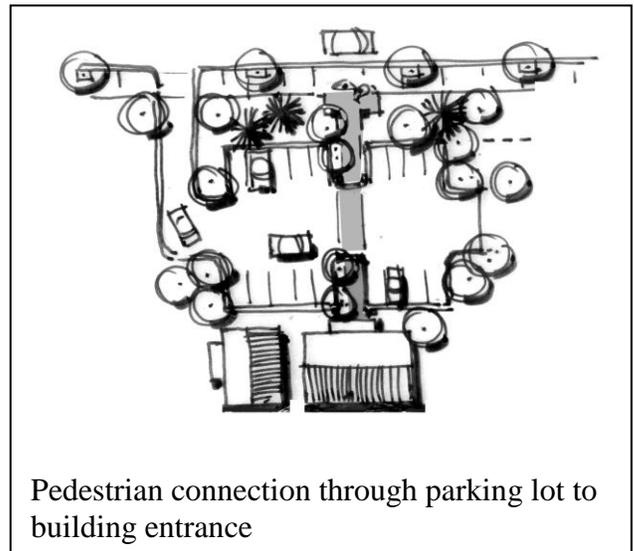
28-4.05 Pedestrian Connections

1. Intent: To create a network of linkages for pedestrians, including locating building entrances adjacent to sidewalks.
2. Standards:

A. Required:

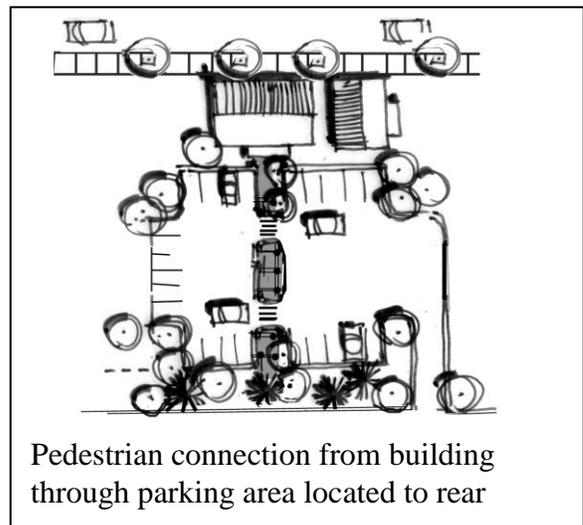
- (1) Clearly defined pedestrian connections shall be provided:

- a. Between a public right-of-way and building entrances when buildings are not located directly adjacent to the sidewalk;
- b. Between parking facilities and building entrances;
- c. Between parking facilities and sidewalks along streets and other public rights-of-way; and
- d. Between parking facilities and plazas, courtyards, green spaces and other pedestrian areas.



- (2) Pedestrian connections shall be clearly defined in a combination of 2 or more of the following ways:

- a. A 6 inch vertical curb;
- b. A trellis, railing, bollard, special paving, low seat wall and/or other architectural features; and/or
- c. A continuous landscape area minimum 3 feet wide on at least one side of the walkway, except as walkways cross-vehicular travel lanes.
- d. Where walkways abut a public right-of-way and/or driving aisles, the landscape area shall be provided between the walkway and the public right-of-way or driving aisle and a 6" curb must be used.



e. Pedestrian connections shall be clearly defined by pedestrian scale lighting, bollard lighting, accent lighting, accent lighting or a combination thereof to aid in pedestrians way-finding.

(3) Sidewalks along all streets and public rights-of-way shall be a minimum of 8-feet in width in the Town Square Neighborhood and a minimum of 5-feet in all other CBD Neighborhoods.

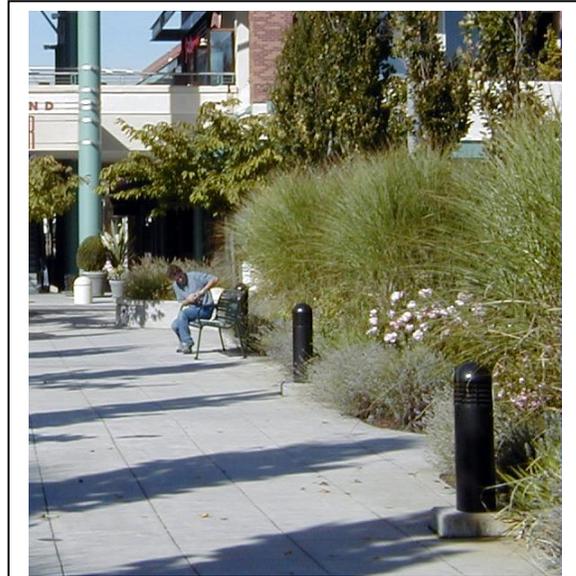
(4) Pedestrian connections walkways shall include clear sight lines to building entrances and shall not be less than 5 feet wide and connect and blend with adjacent walkways.

(5) Landscaping shall consist of drought-tolerant plantings such as evergreens, deciduous trees and shrubs, and decorative grasses. A minimum 20% of plant varieties shall provide year-round color, texture and/or other special interest. Shrubs shall be maintained at a maximum 3-foot height for visibility.

(6) The requirements of the Americans with Disabilities Act shall take precedence over aesthetic design features in all instances.

B. Encouraged:

(1) Pedestrian connections should occur between



Lighted bollards used to define walkway



Clearly defined walkway to building entrance



Trellis used to define pedestrian connection

adjacent developments where feasible.

- (2) Ground covers should be evergreen varieties.
- (3) Perennials and/or annuals are encouraged to provide special interest and highlight pedestrian areas such as building and/or site entrances, public open space, plazas and major pedestrian connections.



- (4) Rocks, pebbles, sand and similar non-living materials may be allowed as accent features within landscape planting areas but should be less than 5% but in no case shall be more than 25% of the total landscape planting area.
- (5) Automatic watering systems should be installed in all landscape planting areas.

C. Not Allowed:

- (1) Chain link or other wire fencing shall not be used.

28-4.06 Blocks, Crosswalks And Intersections

1. Intent: To promote access throughout the central business district, safe passage for pedestrians across primary and secondary pedestrian streets and to increase safety considerations for pedestrians crossing primary vehicular streets.

2. Standard:

A. Required:

- (1) Blocks (defined as the length of space between street intersections) will be no longer than 500 feet. The Board of Aldermen as part of the preliminary site plan may approve an alternative to this design standard.
- (2) If an alternative to this design standard is approved, a mid-block pedestrian connection shall be provided in accordance with the design criteria for “Pedestrian Connections” and “Through-Block Passages”.
- (3) At intersections with traffic signals or stop signs, sidewalk materials shall be extended across the vehicle and bicycle lanes to define the pedestrian connections in accordance with the specifications of the City of Raytown Permitting, Development Design Criteria & Technical Specifications Manual.

- (4) Where on street parking is allowed near an intersection, the sidewalk should “bulb out” at the corner by the width/length of the on street parking spaces to shorten the walking distance across the intersection.
- (5) Where crosswalks are defined, stop signs or traffic signals shall be provided to direct bicycle, vehicular and pedestrian traffic.



Bulb outs at street intersections shorten walking distance and help define crosswalk

B. Encouraged:

- (1) Blocks should be no longer than 300-400 feet in length for appropriately scaled business and pedestrian walkability.

C. Not Allowed:

- (1) No textured or striped crosswalks shall be permitted where stop signs or traffic signals are not present.

28-4.07 Through-Block Passages

- 1. Intent: To provide pedestrian connections in-between large blocks of development.
- 2. Standard:

A. Required:

- (1) Through block passageways shall be provided whenever a block is 500-feet or more length.
- (2) Where a through block passageway exists on a block that is 500-feet or more in length, a pedestrian activated traffic signal shall be provided at each end of the through block passageway where the passageway



Through block passageway provides access to structured parking

intersects with a street so as to allow pedestrians the ability to safely cross the street.

- (3) Where provided, pedestrian connections should be clearly defined by pedestrian and/or accent lighting.
- (4) A through block passageway may meander but should have lighting to ensure usability and safety at night.

B. Encouraged:

- (1) Development should include clearly defined pedestrian connections providing through-block passageways.
 - (2) Where provided, pedestrian connections should be clearly defined in one of the following ways:
 - a. A continuous landscaped area minimum 3 feet wide on at least one side of the walkway, except where walkways cross vehicular travel lanes; or
 - b. A trellis, bollards, special paving, low seat wall and/or other architectural features.
 - (3) The property owner or business association shall retain ownership of the through block passageway if part of the land plat. However, through-block passages will be maintained by the same entity maintaining the pedestrian sidewalks and other walkways.



Trellis and plantings help define through-block passageway

28-4.08 Site Landscape Areas

- 1. Intent: To reinforce the character of downtown Raytown and the surrounding built environment through site landscaping.

2. Standard:

A. Required:

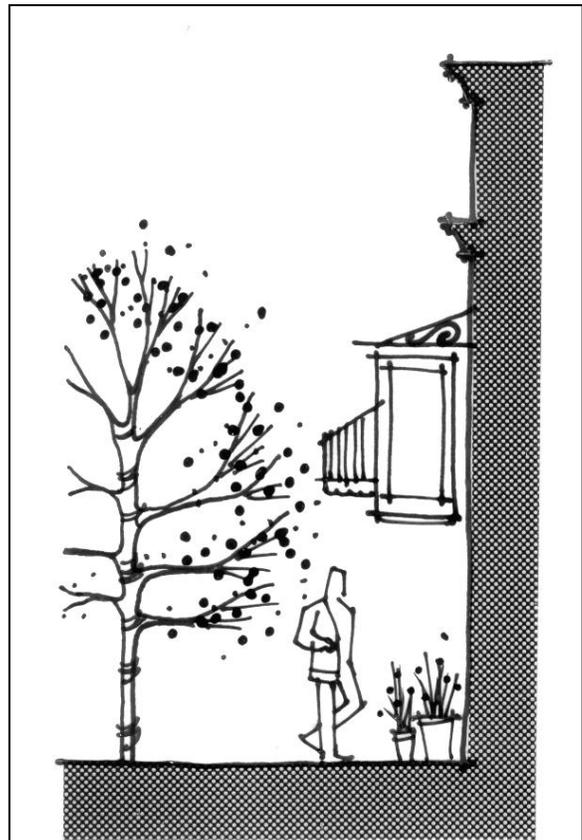
- (1) All areas not otherwise devoted to landscape required by the CBD Design Elements, the Raytown Municipal Code,

parking, structures or other site improvements shall be planted, or remain in existing native, non-invasive vegetation.

- (2) Where new landscape areas are provided, plant materials shall provide year-round color, texture and/or other special interest.
- (3) Landscaping shall consist of drought-tolerant plantings such as evergreens, deciduous trees and shrubs, and decorative grasses. A minimum 20% of plant varieties shall provide year-round color, texture and/or other special interest. Shrubs shall be maintained at a maximum 3-foot height for visibility.
- (4) When used, window boxes, container planters and hanging baskets shall be made of weather resistant materials.
- (5) All landscape areas shall be maintained per the Raytown Landscape Ordinance.

B. Encouraged:

- (1) Perennials and/or annuals are encouraged to provide special interest and highlight pedestrian areas such as building and/or site entrances, public open space, plazas and major pedestrian connections.
- (2) Window boxes, container plantings, hanging baskets, or other special interest landscape should be provided to enhance pedestrian areas.



Landscaping along street near building entrance



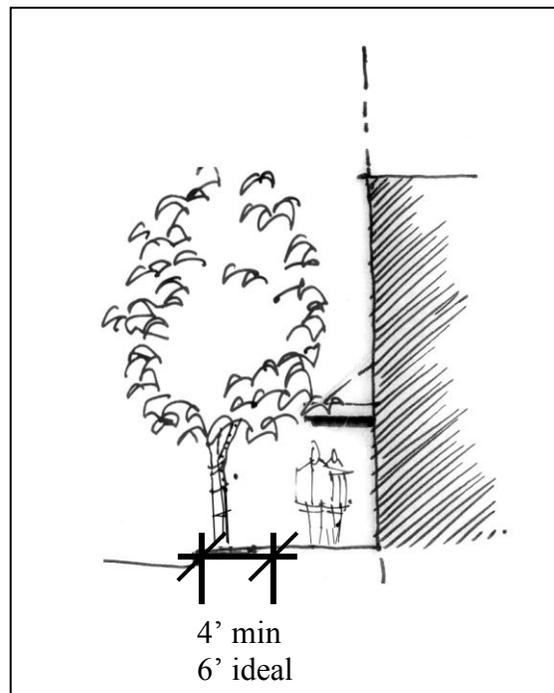
Planter boxes add interest and color to the front of a building

28-4.09 Street Trees

1. Intent: To maintain a consistent street frontage throughout the downtown area through the planting of trees along streets and sidewalks.
2. Standard:

A. Required:

- (1) Street trees shall be located between the sidewalk and curb edge within the public right-of-way, where feasible.
- (2) Street tree selection shall comply with the Street Tree regulations adopted by the City of Raytown Tree Board and shall consider existing utilities, lighting, adjacent street trees, tree root growth and proposed signage locations.
- (3) Sidewalks should be set back from the edge of the road or the curb a minimum of four (4) feet wherever possible to allow for tree planting and growth.
- (4) Trees shall be of a similar size and type as trees found within the same block so as to maintain a sightline of similar overall streetscape appearance.
- (5) Trees planted shall be wind, ice and weather tolerant, of medium height when mature.
- (6) Tree grates when used, shall be of a similar material and appearance as tree grates found in adjacent developments to maintain a similar overall streetscape appearance.



B. Encouraged:

- (1) Sidewalks should be set back from the edge of the road or the curb a minimum of six (6) feet wherever possible to allow for tree planting and growth.

28-4.10 Site Lighting

1. Intent: To provide pedestrian scale lighting, accent lighting and festival lighting to accompany street lighting in the downtown area.

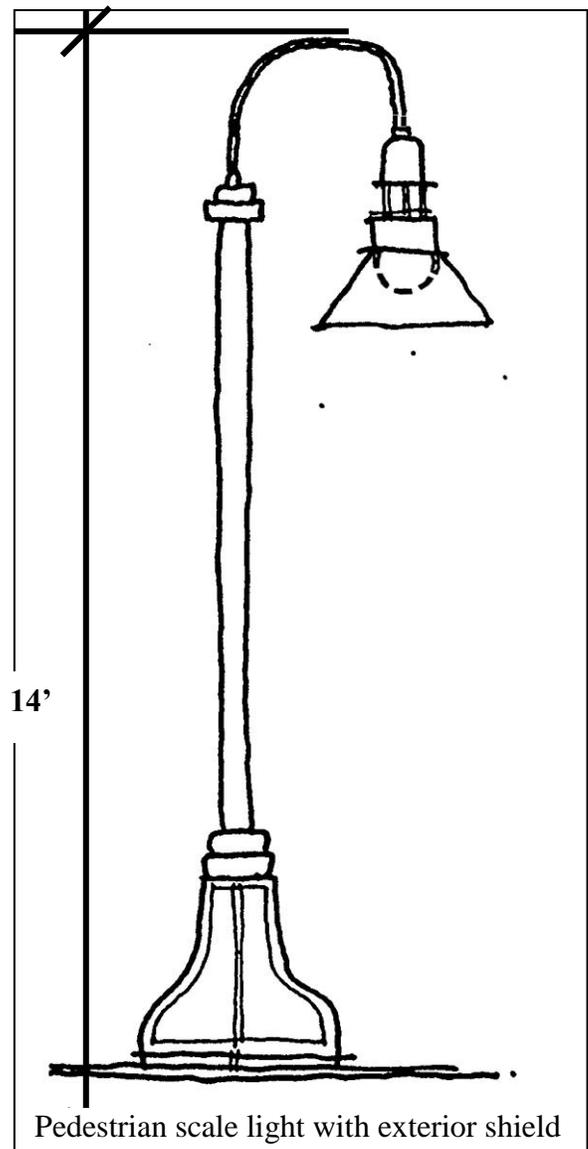
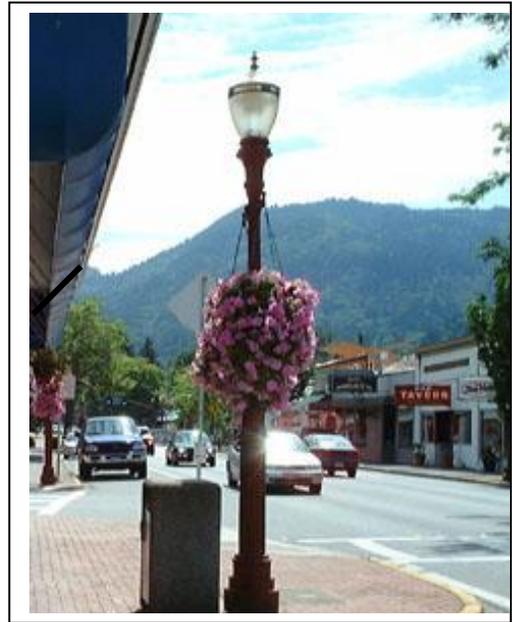
2. Standards:

A. Required:

- (1) Pedestrian scale lighting and/or bollard lighting shall be used to define pedestrian walkways, crosswalks, connections, and/or other pedestrian areas within a development.
- (2) Pedestrian scale lighting shall be 14-feet in height.
- (3) Site lighting shall complement other lighting elements used throughout the site, parking and/or adjacent developments and public right-of-way.
- (4) All lighting (except festival lighting) shall be shielded from the sky and adjacent properties and structures, either through exterior shields or through optics within the fixture. No light projection should extend higher than horizontal from the light fixture and shall in no case create glare when visible from a public right-of-way or sidewalk.

B. Encouraged:

- (1) Accent lighting should be used for pedestrian safety and to highlight special focal points, building/site



Pedestrian scale light with exterior shield

entrances, public art and special landscape features.

- (2) Festival lighting is encouraged during holidays and festivals to reinforce the character and image of the downtown area.

C. Not Allowed:

- (1) Permanent spotlights, lasers or other types of lighting used as attention-attracting devices shall not be allowed.

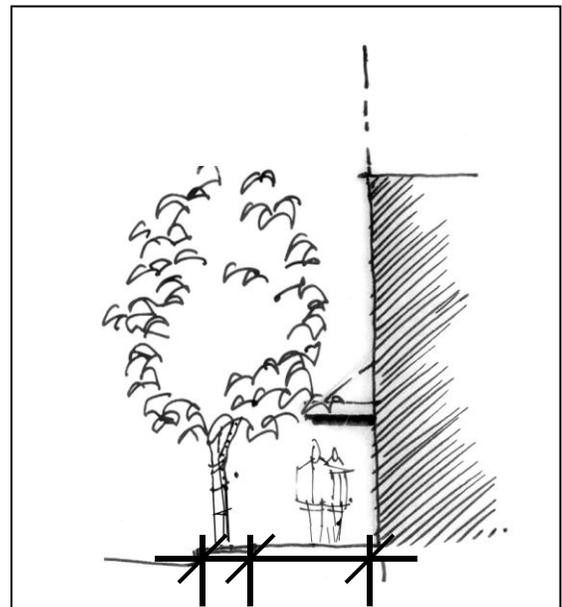
28-4.11 Sidewalk Paving

- 1. Intent: To maintain a consistent street frontage throughout the Central Business District

- 2. Standard:

- A. Required:

- (1) Sidewalk paving material shall be not less than 8-feet in width within the Town Square Neighborhood and not less than 5-feet in all other neighborhoods of the Central Business District.
 - (2) Sidewalks in the Town Square Neighborhood shall be separated from the curb by a strip of brick, paver bricks, stone or stamped and color blended concrete that is a minimum width of 2-feet between the curb and sidewalk unless trees are planted between the sidewalk and curb in which case the sidewalk shall be separated from the curb by a strip of brick, paver bricks, stone or stamped and color blended concrete which shall have a width that is as wide as the tree grates around the trees.



8' / 5'
Brick, stone or stamped and color blended concrete



Paver bricks and street trees separating sidewalk from street

- (3) Sidewalks in CBD
Neighborhoods other than the Town Square Neighborhood shall be separated from the curb by a strip of land that consists of either grass or a strip of brick, paver bricks, stone or stamped and color blended concrete.



A plaza area with brick and concrete that matches sidewalk

- (4) The sidewalk between the building and strip of brick, paver bricks, stone or stamped and color blended concrete shall be constructed of color blended concrete with a relatively smooth texture that is the same color and texture as other sidewalks along streets in the CBD.

- (1) Unless otherwise required by the City or where larger plaza areas are provided, sidewalk-paving material shall be consistent with street frontage improvements of adjacent developments.

B. Encouraged:

- (1) Where larger plaza areas are provided, sidewalk-paving material is encouraged to provide added interest. Refer to the “Courtyards, Plazas and Open Space” section of these CBD Design Standards for additional requirements in plaza areas.

28-4.12 Bicycle Lanes

- 1. Intent: To create a more bicycle friendly street through the integration of bike lanes on streets.

- 2. Standard:

- A. Required:

- (1) Wherever the width of a primary pedestrian street allows, bike lanes shall be provided on each side of the street. The width and design of the bike lanes shall be consistent with bicycle standards as specified by the



Kansas City American Public Works Association Chapter.

- (2) At intersections with turn lanes that override the bike lanes, bike lanes shall be phased out a safe distance from the intersection.
- B. Encouraged:
- C. At reconstruction, primary pedestrian streets should be widened to accommodate bike lanes on both sides of the street.

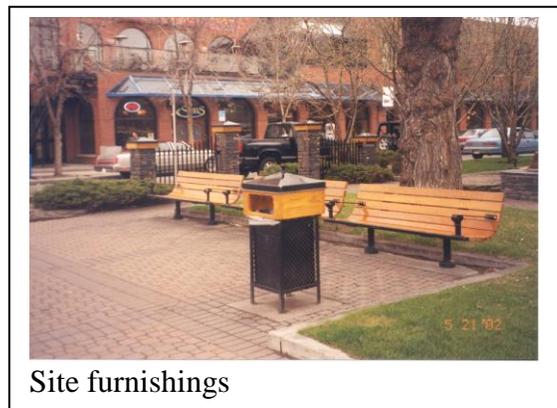
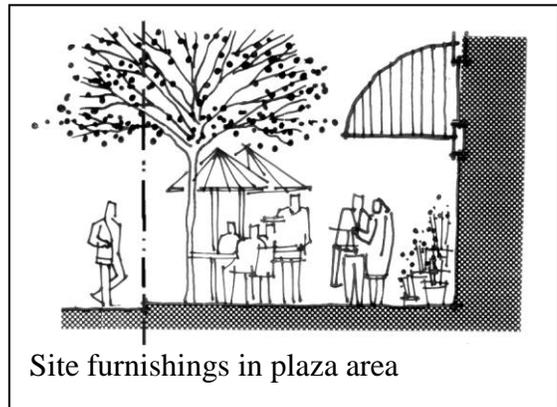
28-4.13 Site Furnishings

1. Intent: To create a more pedestrian friendly street through the use of site furnishings at plazas, building entrances and other pedestrian areas.

2. Standard:

A. Required:

- (1) Site furnishings, such as benches with backs, tables and other pedestrian amenities shall be made of durable, weather-resistant and vandal-resistant materials.
- (2) Site furnishings shall be consistent with the overall character, colors and appearance of adjoining pedestrian areas and site furnishings.
- (3) Newspaper and other vending machines for the distribution of print media shall be located in vending kiosks facing away from the street and that have exterior materials that are consistent with the exterior materials of the building(s) to which they are adjacent. Identifying logos may appear on the sides of the kiosks facing the sidewalk and street.



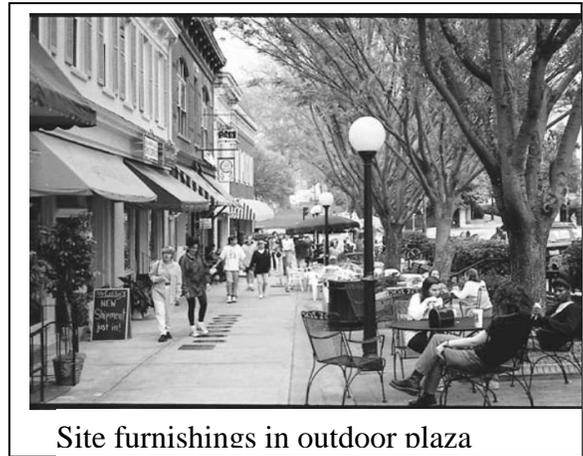
B. Encouraged:

- (1) Use of site furnishings, such as benches with backs, tables, bike

racks, water fountains and other pedestrian amenities should be provided at building entrances, plazas, open space, “bulbed out” sidewalk spaces* and other pedestrian areas.

C. Not Allowed:

- (1) Site furnishings shall not block pedestrian access to crosswalks, through block passageways, plazas, open space areas and/or building entrances.



* See Blocks, Crosswalks and Intersections Standards

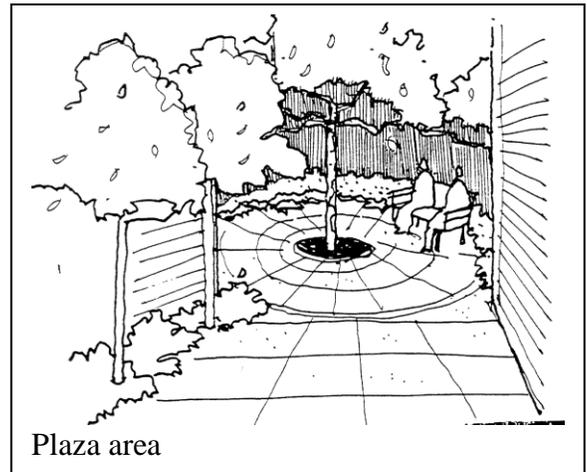
28-4.14 Courtyards, Plazas And Open Space

1. Intent: To reinforce the pedestrian nature of the downtown area by creating usable open space for pedestrians.

2. Standard:

A. Required:

- (1) Where provided, pedestrian spaces shall be visible and accessible to the public.
- (2) Plazas, courtyards, green spaces and other pedestrian areas shall include landscaping and pedestrian scale lighting.



B. Encouraged:

- (1) If plazas, courtyards, green spaces and other pedestrian areas are provided, they should include public art, benches with backs, low seating walls, or other pedestrian amenities and site furnishings.
- (2) Use of brick, paver bricks, stone, concrete colored throughout or other special paving material should be provided to reinforce the character of the downtown Raytown and create a more pedestrian-friendly area.
- (3) Plazas, courtyards, green spaces and other pedestrian areas should be provided within each block in the Town Square Neighborhood and no further than ¼ mile apart in all other CBD neighborhoods.



Special paving in plaza area



Public art

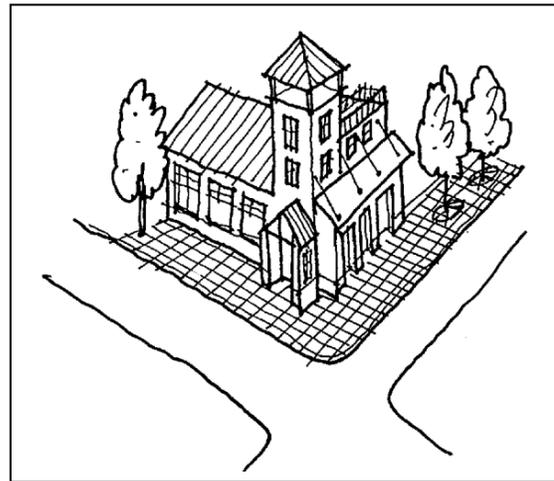
28-4.15 Town Square Gateways

1. Intent: To highlight gateway areas as an entrance to the Town Square Neighborhood.

2. Standard:

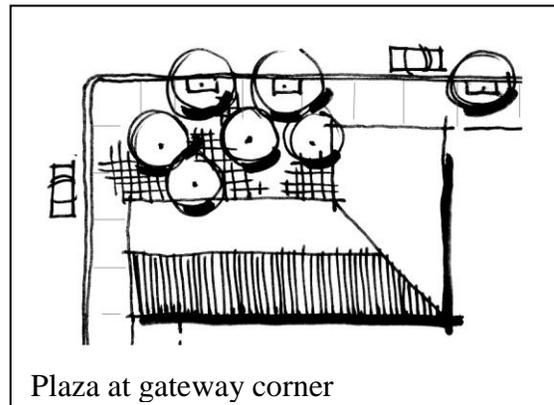
A. Required:

(1) Developments at the intersection of two Primary Pedestrian Streets in the Town Square Area (as defined in the CBD Plan) shall be marked with visually prominent features so as to create a gateway in the Town Square Area.



(2) Visually prominent features shall include two or more of the following:

- a. Public art;
- b. Monuments;
- c. Special landscape treatment;
- d. Open space/plaza;
- e. Identifying building form;
- f. Special paving, unique pedestrian scale lighting or bollards; and/or
- g. Prominent architectural features, such as trellis/arbors, pergola or gazebo.

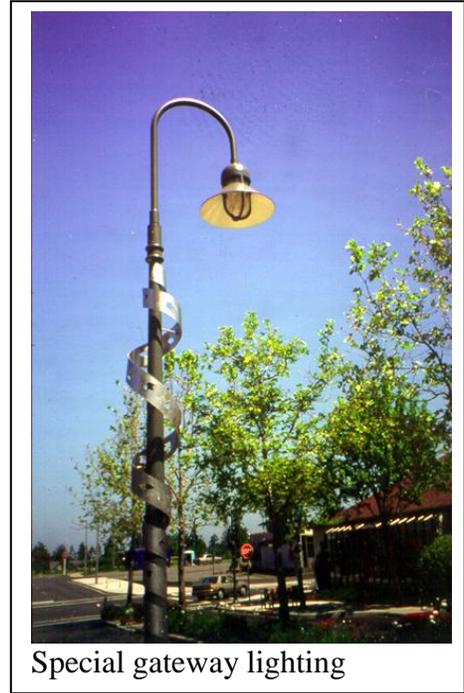


Plaza at gateway corner

- (3) Elements used shall be oriented toward pedestrians, bicycles and vehicles.
- (4) Visually prominent features shall be approved through the regular review and approval processes of the City of Raytown.

C. Not Allowed:

- (1) Visibility to adjacent businesses, crosswalks, and traffic lights shall not be blocked by gateway features.



Special gateway lighting

Section 28-5 Commercial Building Design Standards

28-5.01 Prominent Entrance

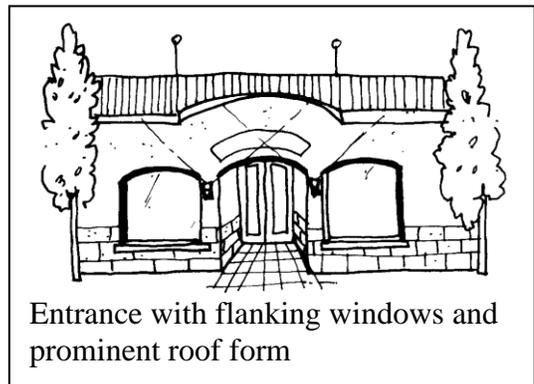
- 1. Intent: To make major entrances to buildings obvious and welcoming and to avoid long expanses of wall space along a street without having building entrances.

- 2. Standard:

- A. Required:

- (1) Visual Prominence – the principal entry to the building shall be marked by at least one element from each of the following groups:

- a. Group A
 - Recess
 - Overhang
 - Portico
 - Porch
- b. Group B
 - Clerestory
 - Glass window(s) flanking door
 - Ornamental lighting fixtures



Entrance with flanking windows and prominent roof form

- Large pedestrian entry door(s)
- c. Group C
- Stone, masonry or tile paving in entry
 - Ornamental building name or address
 - Pots or planters with flowers
 - Seating



Recessed entryway

(1) A building entrance shall be provided along streets a minimum of every 100-feet. The Board of Aldermen as part of the preliminary site plan may approve an alternative to this design standard.

(2) Weather Protection – Some form of weather protection shall be provided. This can be combined with the method used to achieve visual prominence.

28-5.02 Set-To Lines / Maximum Setbacks

1. Intent: To ensure the visibility of retail businesses and establish active, lively uses along the sidewalk.

2. Standard:

A. Required:

(1) Buildings located along a street shall not be set back from the sidewalk, with the following exceptions:

- a. Setbacks of up to 4 feet can be used to highlight entrances and provide for wider sidewalks.
- b. A setback of up to 10 feet may be allowed for the one of the following purposes:
 - i. Providing a public courtyard or plaza area that includes site furnishings; or
 - ii. Providing outdoor seating as part of a restaurant, café or food establishment.

c. The Board of Aldermen as part of the preliminary site plan may approve an alternative to this design standard.



Buildings along sidewalk with some variation



Building with no setback except for recessed entryway.

- (2) Where outdoor seating areas (s) or public space is provided that results in an increased building set back, landscaping, fencing, a wall or combination thereof shall be used to maintain a visual building line along the sidewalk.

B. Not Allowed:

- (1) Grass and other landscaping areas shall not comprise more than 25 percent of public courtyard, plaza or outdoor seating areas in the Town Square Neighborhood.



Buildings setback with public space in front defined by landscaped wall

28-5.03 Ground Floor Transparency

1. Intent: To provide visual connections between activities inside and outside buildings.

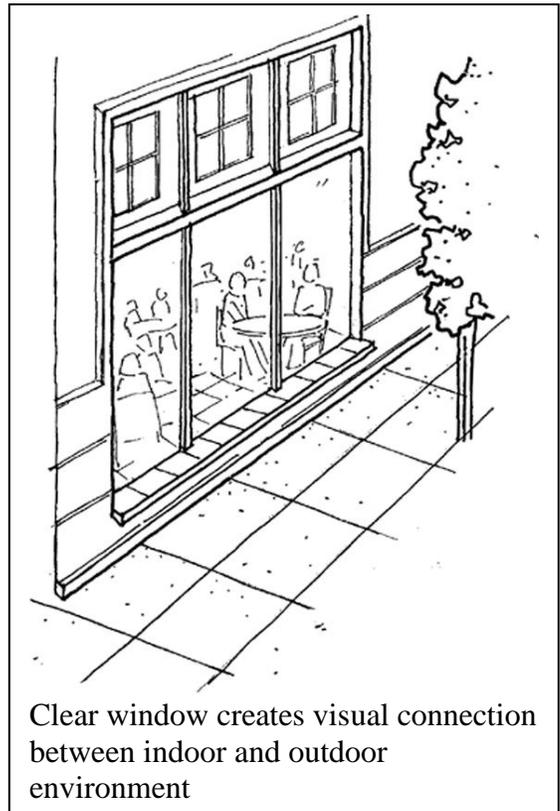
2. Standard:

A. Required:

- (1) A minimum of 45% of the lowest 12-feet of a building façade facing a street in the Town Square Neighborhood shall be comprised of windows with clear, “vision” glass.
- (2) A minimum of 25% of the lowest 12-feet of a building façade facing any street in a CBD neighborhood other than in the Town Square Neighborhood shall be comprised of windows with clear, “vision glass”.

B. Not Allowed:

- (1) Reflective glass or film shall not be permitted



Clear window creates visual connection between indoor and outdoor environment

28-5.04 Weather Protection

3. Intent: To provide weather protection for pedestrians.

4. Standard:

A. Required:

(1) Canopies or awnings shall be provided over windows and entryways along streets in the Town Square Neighborhood except in the following cases:

a. A portico, porch or overhead projection is provided over the window or entryway that achieves the intent indicated above.

b. The building on which the canopy or awning is to be provided has a setback of greater than 4-feet and the setback area complies with the requirements for Courtyards, Plazas, and Open Space as specified within these regulations.

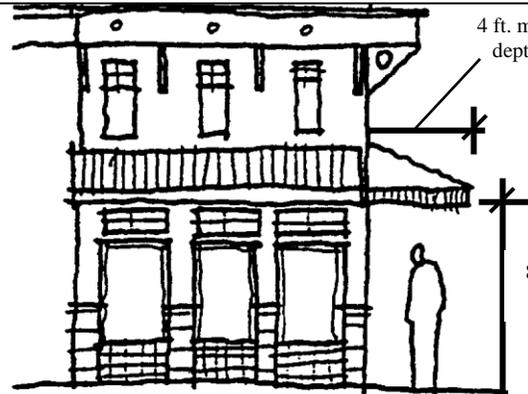
(2) The minimum depth of any canopy or awning shall be 4 feet unless limited by the City of Raytown adopted building code. The vertical dimension between the underside of the canopy or awning and the sidewalk shall be at least 8 feet and no more than 10 feet.

B. Not Allowed:

(1) Internal illumination of awning shall not be allowed. Illumination below the awning shall be allowed only if awning material is opaque.



Canopies provide weather protection for pedestrians



Standards for depth and height of canopies

28-5.05 Storefront & Building Façade Composition

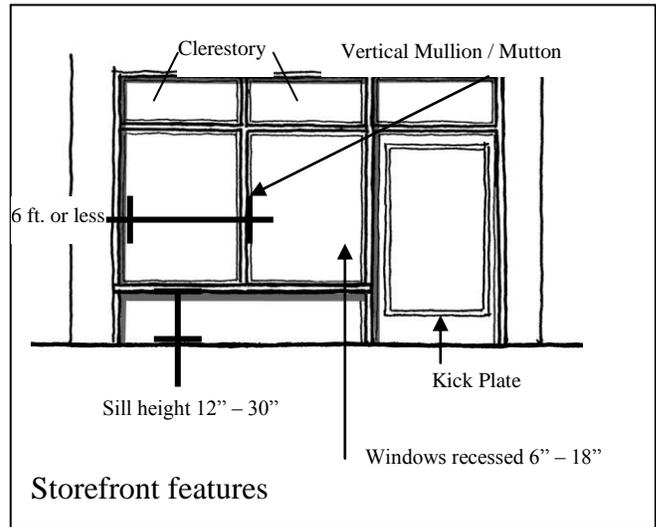
1. Intent: To ensure that ground level storefronts and building façades along streets in the Town Square Neighborhood offer attractive features to pedestrian.

2. Standard:

A. Required:

(1) Ground level building façades along streets in the Town Square Neighborhood shall incorporate at least one of the following:

- a. Large windows with a sill height of 12" to 30" above the sidewalk;
- b. Clerestory windows above the main windows;
- or
- c. Windows recessed from the face of the building 6-inches to 18-inches



(2) Windows shall have vertical mullions or muttons every 6-feet.



28-5.06 Ground Level Details

1. Intent: To ensure that buildings along streets within the Central Business District (CBD) display the greatest amount of visual interest and reinforce the character of the streetscape.

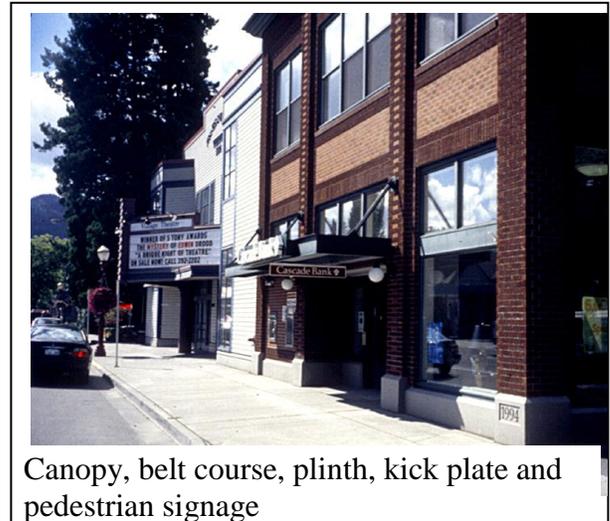
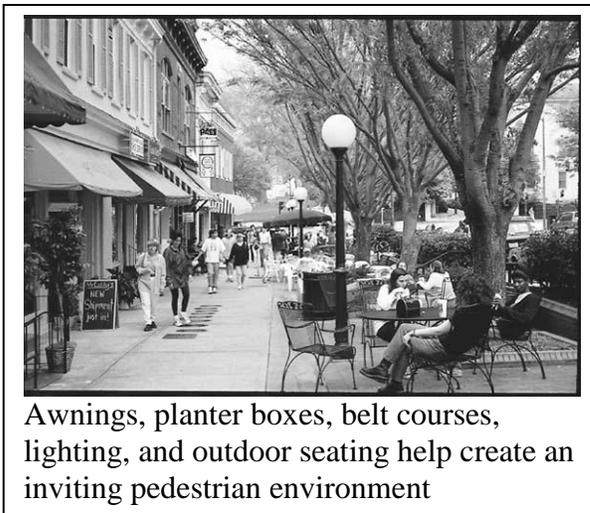
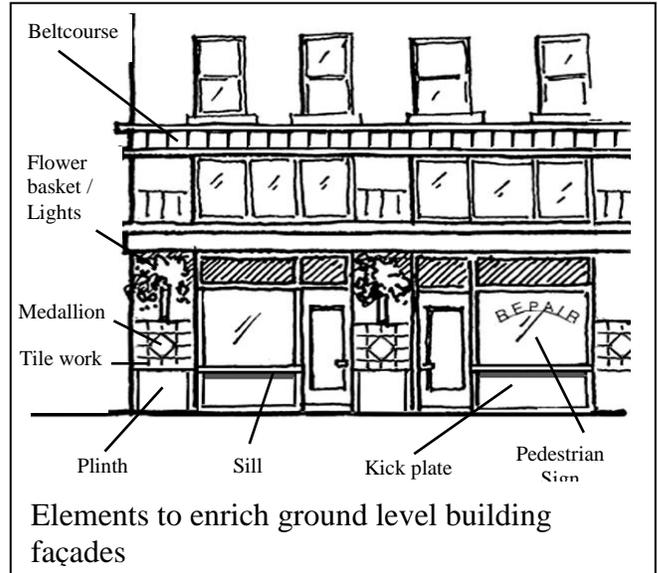
2. Standard:

A. Required:

(1) Buildings within the CBD located along a street in the Town Square Neighborhood shall incorporate at least four of the following elements into any ground-floor, street-facing façade:

- a. Decorative lighting;
- b. Medallions;
- c. Belt Courses;
- d. Plinths for columns;
- e. Kick plate for storefront window;
- f. Projecting sills;
- g. Tilework; and/or
- h. Planter box

(2) Buildings on any street other than in the Town Square Neighborhood shall incorporate at least three of the above-mentioned elements.



28-5.07 Upper Level Stepbacks

1. Intent: To ensure that new buildings having greater height do not overwhelm the character and scale of the downtown area by requiring a reduction in the bulk of upper floors.
2. Standard:
 - A. Required:

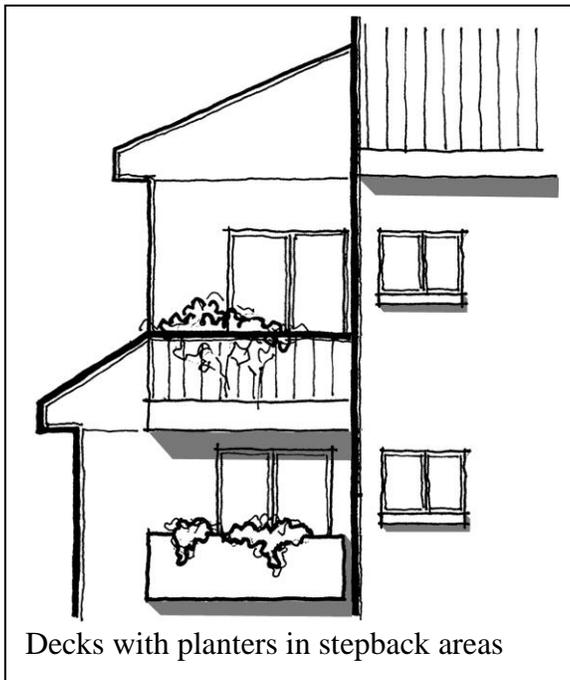
- (1) Buildings of three or more stories that are constructed with a front yard setback of less than 15-feet shall be stepped back above the second story. For each floor above two stories, the amount of the step back shall be at least 4-feet from the floor below. The step back shall be repeated a minimum of every two floors. The step back need not be continuous and uniform, so long as the decrease in bulk is visually evident. Accordingly, some portions of the exterior walls may extend out to the wall of the floor below. (There may be functional reasons, such as a staircase, that justify an occasional wall extending the full height of the building or for the purpose of creating an architectural gateway to an area at a street intersection.)
- (2) Buildings of three or more stories that have a front yard setback of 15-feet or greater are not required to have step backs.

B. Encouraged:

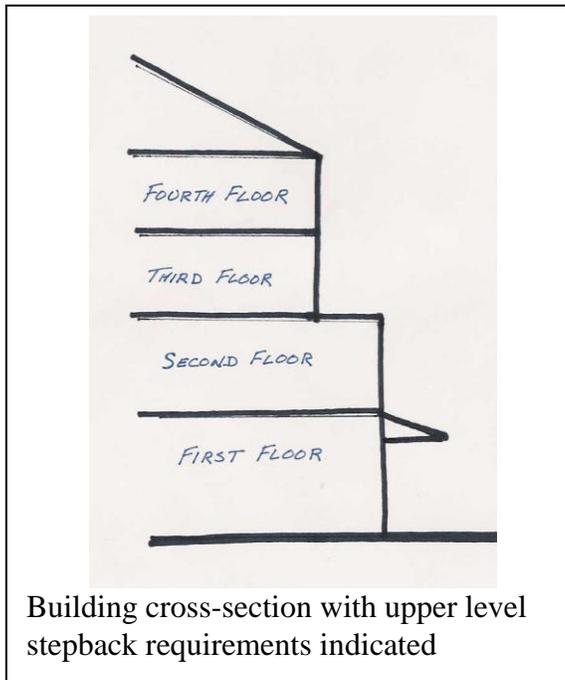
- (1) Terraces should include planters for flowers and other vegetation;
- (2) The step back areas may be used for accessible decks or may be roofed. It is preferred that step backs incorporate combinations of roofs and decks to produce a massing that is both terraced; and varied.



Mixed-use building with stepback areas used as terrace and deck



Decks with planters in stepback areas



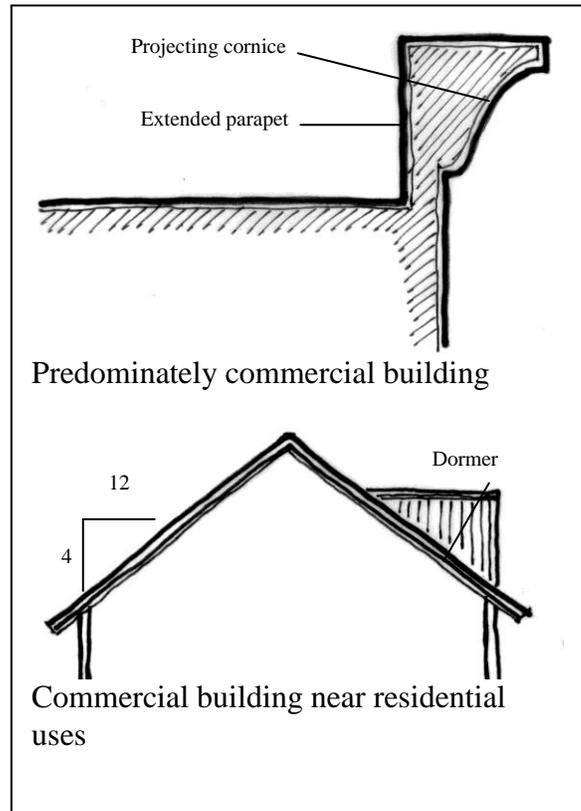
Building cross-section with upper level stepback requirements indicated

28-5.08 Roof Expression

1. Intent: To ensure that rooflines within the downtown area present a distinctive profile and appearance and reinforce the character of downtown.
2. Standard:

A. Required:

- (1) Buildings of two stories or greater with flat roofs in the Town Square Neighborhood shall include either extended parapets and projecting cornices to create a prominent edge or a sloping roof element when viewed against the sky from a street, parking area, public open space or pedestrian connection.
- (2) Sloping roof elements are required for all one story buildings in the Town Square Neighborhood
- (3) Sloping roof elements are required for all buildings in all other CBD neighborhoods.
- (4) Buildings containing predominantly residential uses shall have pitched roofs with a minimum slope 4:12. Such roofs shall have dormers or intersecting roof forms that break up the massiveness of a continuous, uninterrupted sloping roof.
- (5) Eaves and downspouts shall be architecturally integrated into the building façade.
- (6) Rooftop mounted equipment, vents and flues (other than chimneys) shall be screened by parapet walls or sloping roof elements compatible with the



building architecture when visible from a street, parking area, public open space or pedestrian connection or other public area. Mechanical equipment must be located and screened in a manner so as not to be visible or heard from adjoining properties.

a. Rooftop mechanical equipment screens shall be required at a height that is as high or higher than the rooftop equipment being screened.

b. Screening shall be provided in a manner that is architecturally integral to the overall appearance of the building.

c. The number of vents and flues shall be kept to a minimum and located in a manner to not be visible. On sloped roof structures, vents and flues shall be incorporated into architectural features or painted to blend with the roofing material.

d. The Board of Aldermen as part of the preliminary site plan may approve an alternative to this design standard, provided that in addition to the criteria for approval of an alternative, the Board of Aldermen must also determine that one of the following exception criteria is valid:

i. A building is located at a higher elevation in relation to surrounding properties and it is demonstrated that rooftop equipment will not be visible.

ii. A building is sited in a manner where the location and setback of rooftop equipment from the building edge is relation to the elevation and visibility of surrounding properties is such that the equipment will not be visible from any distance and additional screening measures are not required.

(7) Roof materials shall be durable and shall comply with the City of Raytown adopted fire code.



Roof with parapet wall that screens roof top mechanical equipment and creates appearance of a two-story building



Buildings in downtown area with parapet walls

- (8) Roof colors shall be consistent with the roof colors identified in Section 28-5.14. The Board of Aldermen as part of the preliminary site plan may approve an alternative to this design standard.

B. Not Allowed:

- (1) Flat, unembellished rooflines shall not be permitted.
- (2) Bright roof colors shall not be permitted.
- (3) Corrugated metal, standing seam metal and wood shake shingle roofs shall not be permitted.

28-5.09 Marking Gateways Into The Town Square

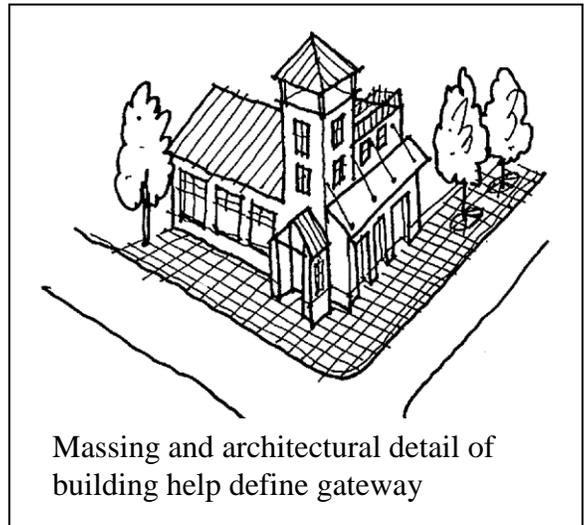
1. Intent: To promote the sense of a gateway into the Town Square Neighborhood through architectural design.
2. Standard:

A. Required:

- (1) Buildings at primary pedestrian street intersections in the Town Square Neighborhood shall be designed to create a gateway into the area.
- (2) Any corner of a building that abuts a primary pedestrian street in the Town Square Neighborhood intersection shall be given major architectural expression in its façade, roof form and massing. Architectural expressions may include tower forms, unusual rooflines, or over-sized windows that blend with the architectural intent of the Town Square Neighborhood.



Tower incorporated into architectural expression of building at intersection that helps creates gateway



Massing and architectural detail of building help define gateway

B. Not Allowed:

- (1) Standard corporate designs shall not be acceptable within gateway locations. Given that designated gateways are critical to conveying identity of the overall Central Business District, gateways are not appropriate locations for the franchise architecture typically associated with businesses such as national brand restaurants and gas stations.

28-5.10 Backsides Of Buildings

1. Intent: To ensure that all sides of a building have visual interest.

2. Standard:

A. Required:

- (1) Any side of the building visible from a street, parking area, through block passageway, or public open space shall be given architectural treatment using two or more of the following:

- a. Windows
- b. Pedestrian entrances
- c. Balconies
- d. Architectural details mentioned under “Ground Level Details”
- e. Awnings

- (2) Unattractive elements, such as trash, service, storage and loading areas shall be located out of public view from streets, adjacent residential properties, and other highly visible areas such as parking lots, access drives, through block passageways, etc.

- a. Buildings shall be designed in a manner so that loading docks, service areas, and outdoor storage areas are screened either by a building wall or a screening wall, or integrated into the building design to not be noticeably visible.



Service entrance and stairway located to rear of building



Plantings and architectural details



Awnings, landscaping and architectural details enhance the rear access to businesses in this building

- b. Whenever possible, screening walls shall be of a length and height to screen the maximum size of vehicle using the area.
- c. Screening walls shall reflect the same level of architectural design as the primary structure, including elements such as landscaping to soften the wall's appearance, architectural detailing, staggering with recesses and projections, and visual interest.
- d. Design elements must be accomplished in a manner to control noise generated from service activities and mechanical equipment.

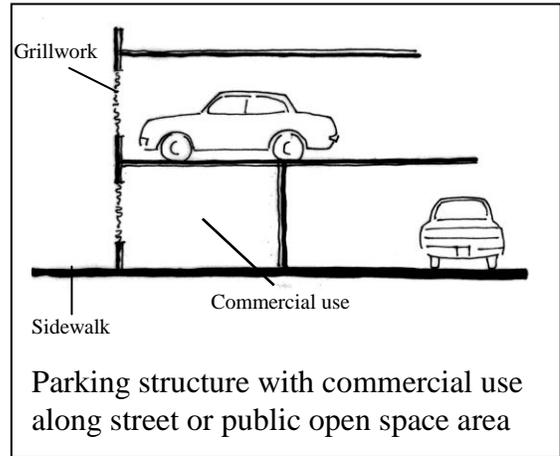
28-5.11 Concealing Structured Parking

1. Intent: To integrate parking structures with the surrounding character of the downtown.

2. Standard:

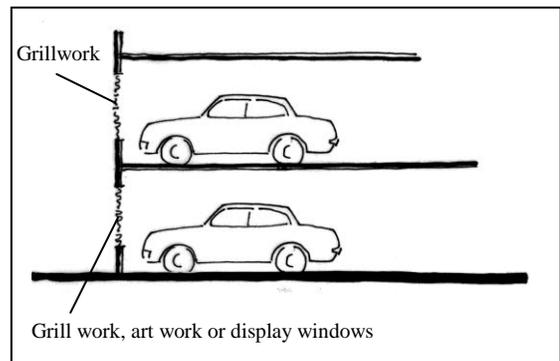
A. Required:

(1) Parking structures facing a street in the Town Square Neighborhood shall provide retail or other commercial uses along at least 66% of the linear frontage abutting a street, parking area or public open space.

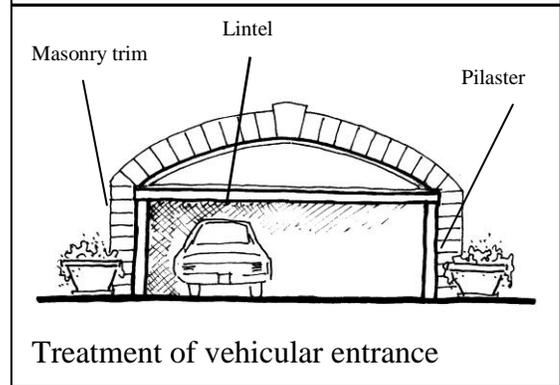


(2) Any remaining portions of the façade not devoted to retail or commercial uses shall incorporate one or more of the following devices to screen the view of parked cars:

- a. Ornamental grillwork (plain vertical or horizontal bars are not acceptable)
- b. Decorative artwork, such as metal panels, murals, and mosaics
- c. Display windows for use by nearby merchants or uses.



(3) Vehicular entrances shall be designed to incorporate architectural elements that frame the opening, such as an arch, lintels, pilasters, masonry trim, planters, or ornamental lighting.



B. Encouraged:

- (1) The ground level of parking structures on all streets in other areas of the CBD as identified by the CBD Plan should be screened from view by retail or commercial uses to the greatest extent possible. However, where such uses are not provided, then at least two of the following shall be used to screen the parking:
 - a. Residential uses or lobbies;
 - b. Ornamental grillwork (plain vertical or horizontal bars are not acceptable);
 - c. Decorative artwork, such as metal panels, murals, or mosaics; and/or
 - d. Landscape features.



Treatments to parking structure façade



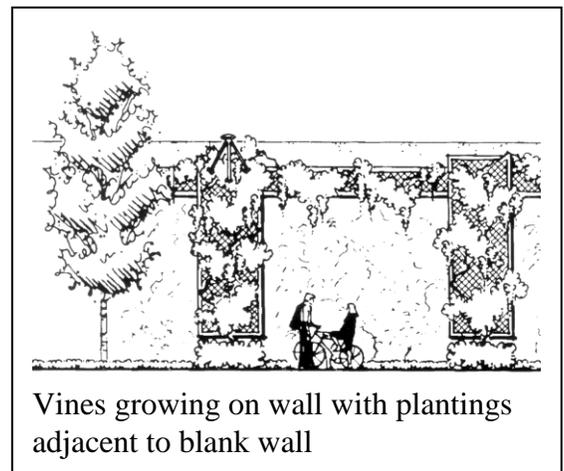
Art work incorporated into the exterior of this parking structure

28-5.12 Screening Blank Walls

1. Intent: To mitigate blank walls by providing visual interest and reinforcing the character of the downtown.
2. Standard:

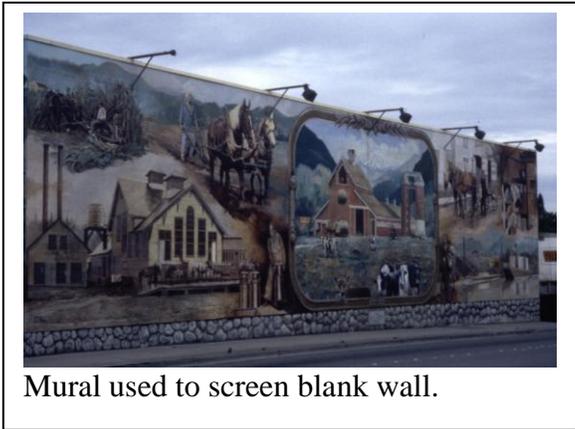
A. Required:

- (1) Walls within view from a street, sidewalk, parking area or public open space shall have windows, reveals, architectural detail, etc. as described in the Building Design section of the CBD Design Elements. However, if an uninterrupted expanse of blank wall (longer than 30 feet), portions of a blank façade or a building foundation is unavoidable, two or more of the following shall be used:



Vines growing on wall with plantings adjacent to blank wall

- a. Vegetation, such as trees, shrubs, ground cover and/or vines, adjacent to the wall surface;
- b. Artwork, mural or trellis/vine panels;
- c. Seating area with special paving and seasonal planting; and/or
- d. Architectural detailing, contrasting materials or other special interest.



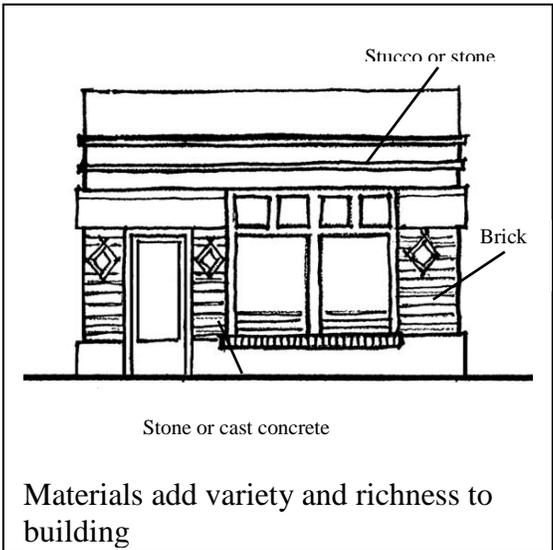
28-5.13 Materials

- 1. Intent: To express the activities of the first two floors of the building and contribute to the character of the downtown.
- 2. Standard:

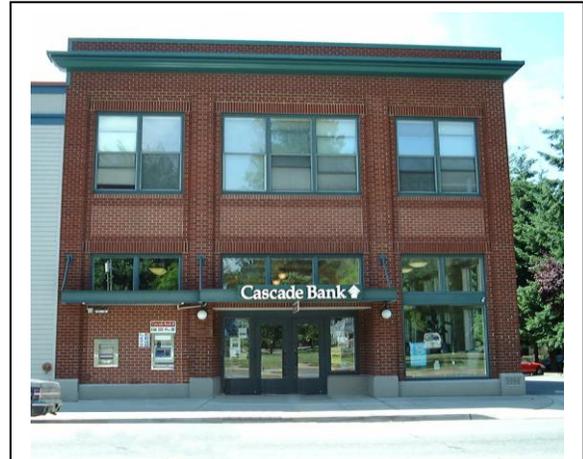
A. Required:

- (1) The first and second floor façades of buildings facing the street shall use materials that add variety, permanence and richness to the streetscape, limited to the following:

- a. Brick: No larger than 4-inch by 4-inch by 8-inch. The Board of Aldermen as part of the preliminary site plan may approve an alternative to this design standard.
- b. Stucco: Surface texture of Sandpebble or Quartzputz in colors as



- identified in the “Color” standards.
- c. Stone: Polished surfaces in natural color and texture of native stone in colors as identified in the “Color” standards.
 - d. Ceramic: Tiles that are a minimum size of 12-inch by 12-inch in colors as identified in the “Color” standards. The City may permit smaller accent tiles upon review and approval.
 - e. Glass: Insulated glass panels in clear colors as identified in the “Color” Standards without reflection or mirror appearance.
 - f. The Board of Aldermen as part of the preliminary site plan may approve an alternative to this design standard.



Brick façade incorporating different pattern and color of brick



Variation in building materials between ground level and upper floors

- (2) More flexibility in the use of materials is allowed in the upper levels of building.
- (3) Cast concrete, wood and metal may be used as secondary façade materials as long as the secondary materials do not comprise more than 30% of the façade.

B. Not Allowed:

- (1) Corrugated metal, standing seam metal and wood shake shingle roof materials are prohibited.

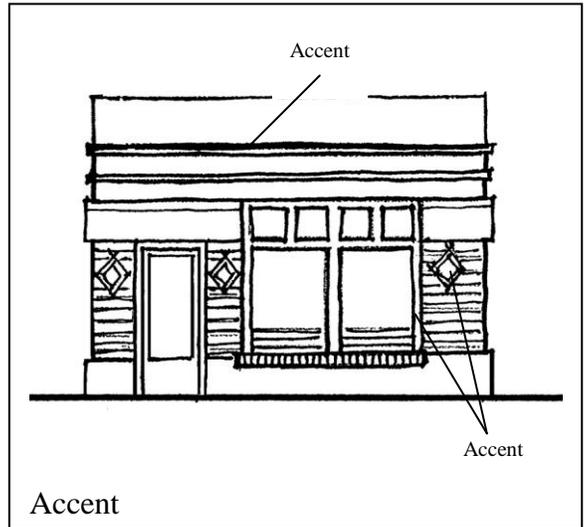
28-5.14 Colors

- 1. Intent: To ensure that the exterior façade, trim, door and roof colors on a building or structure create a uniform appearance and are compatible with colors on surrounding properties.
- 2. Standards:

A. Required:

(1) Limitations on Color and Finish

- a. There shall be no limitation on hues.
- b. Unpainted metal surfaces, where permitted, shall be permitted only as trim or accent.
- c. The color of overhead doors and any doors used to admit vehicles shall be a tint or tone of the hue, not a saturated color, and shall be of a value (lightness or darkness) as approved by the Board of Aldermen based upon hues of man made features and the environment that are existing or approved on adjoining properties.
- d. Color for the body of the building shall be a tint or tone of the hue, not a saturated color, and shall be of a value as approved by the Board of Aldermen based upon hues of man made features and the environment that are existing or approved on adjoining properties.
- e. No more than one hue may be applied to the body of a building, but combinations of tints, shades, and tones of the hue shall be permitted; and additional hues may be permitted for trim and accent.



Buildings with complimentary colors



Building with earth tone color for body and dark color for awnings

- (2) A full palette of color to be used on the exterior and roof of the building shall be submitted for review and approval by the City.
- (3) When a new building or building addition is proposed, a fully colored depiction prepared by a licensed architect or a graphic designer shall be submitted for review and approval by the City.
- (4) Field painting is to be kept to a minimum. Factory-applied or natural color of materials is the desired appearance that will last longer without ongoing maintenance.

B. Not Allowed:

- (1) Painted brick, stone, ceramic or glass is prohibited. The Board of Aldermen as part of the preliminary site plan may approve an alternative to this design standard.

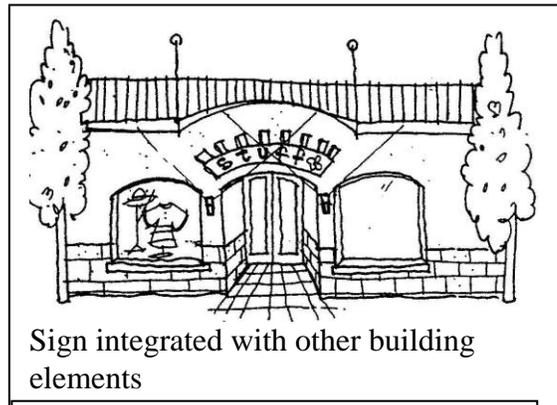
Section 28-6 Commercial Sign Design Standards

28-6.01 Integration with Architecture

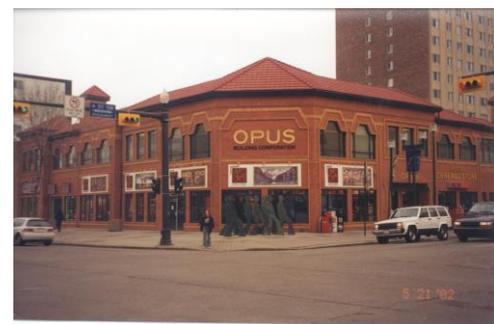
1. Intent: To ensure that signage is part of the overall design approach to a project and not an additive element afterthought.
2. Standards:

A. Required:

- (1) The design of buildings and sites shall identify locations and sizes for future signs. As tenants install signs, it is expected that such signs shall be in conformance with an overall sign plan that allows for advertising which fits with the architectural character, proportions, and details of the development.



Sign integrated with other building elements



Sign highlights entrance

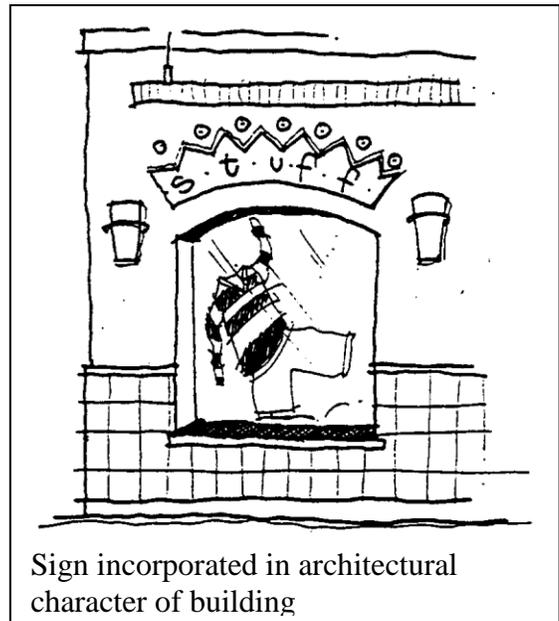
28-6.02 Sign Design

1. Intent: To ensure that signs add to the character of the building on which it is located and incorporate elements that create a unique character for the downtown.

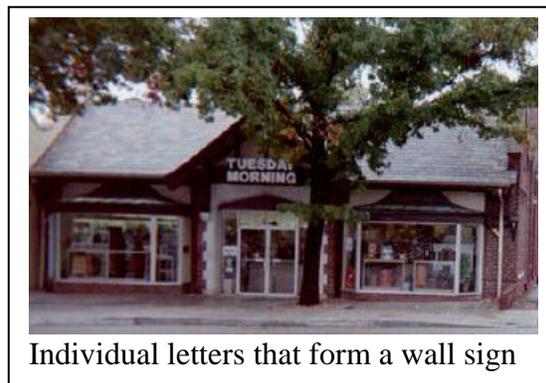
2. Standard:

A. Required:

- (1) Freestanding signs shall not be permitted within the Town Square Area. All signs in the Town Square Area shall be mounted on buildings. These include wall signs, window signs, projecting signs located under awnings, signs painted on awning fascias, and signs suspended from canopies.



- (2) Freestanding signs shall be allowed in other CBD neighborhoods subject to the provisions of the City of Raytown Sign regulations. The exterior materials used to support and surround all freestanding signs shall incorporate the same type and color of façade materials as the building(s) on the property.
- (3) Signs where the individual letters, logos, graphics, etc on the sign are each contained within their own cabinet (not one cabinet for multiple letters, logos, graphics, etc.) may be allowed in the Town Square Neighborhood.
- (4) Cabinet signs encompassing the entire sign shall not be allowed in the Town Square Neighborhood unless architecturally integrated into the building façade in accordance with the Integration With Architecture provisions.



- (5) There shall be no more than one wall or projecting sign per side on a building.
- (6) Signs painted or hung on the inside of windows shall not cover more than 30% of the window area.

- (7) The top of any wall sign, projecting sign, awning sign and any other sign mounted on the exterior of a building shall not be located higher than fifteen (15) feet from the base of the building. The Board of Aldermen as part of the preliminary site plan may approve an alternative to this design standard.
- (8) A master sign plan depicting potential locations, color(s) and materials for signage shall be submitted for all properties or buildings containing multiple tenants or businesses.

B. Exceptions:

- (1) Where an existing building is set back from the front property line in the Town Square Neighborhood and used for a business, there may be one monument sign that is not greater than 15 square feet in area per face, not higher than 5 feet above grade, and not internally illuminated.
- (2) For any existing development that contains multiple buildings and multiple retail tenants, there may be one monument sign for the property. This sign shall not be greater than 25 square feet in area per face and not higher than 5-feet above grade.

C. Not Allowed:

- (1) Projecting signs shall not be backlit.

28-6.03 Artistic Elements

1. Intent: To encourage interesting, creative and unique approaches to the design of signs.
2. Standards:

A. Encouraged:

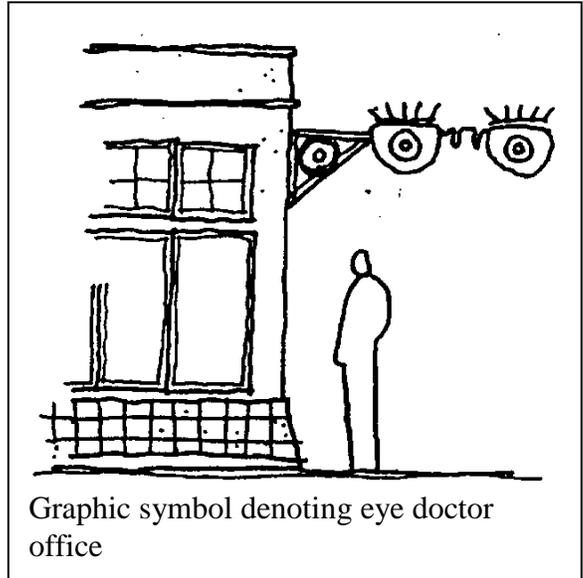
- (1) Signs should be highly graphic in form, expressive and individualized.
- (2) Signs should convey the product or service offered by the business in a bold, graphic form.
- (3) Projecting signs supported by ornamental brackets and



Sign with creative graphics

oriented to pedestrians are strongly encouraged.

- (4) In addition to signs permitted by the sign code, any business may be allowed to have one additional sign, provided that it meets the following criteria:
 - a. It is principally a 2-dimensional or 3-dimensional graphic symbol denoting what is offered by the business;



- b. It is oriented to pedestrians, rather than people in vehicles; and
- c. It is no more than 12 square feet in area per side.

B. Not Allowed:

- (1) Internally illuminated boxes with formed or painted lettering are not permitted.
- (2) Neon may be used in an artful way in signs; however, simply outlining the roof, sign letters or building in neon tubing shall not be allowed.

Section 28-7 Residential Site Design Standards

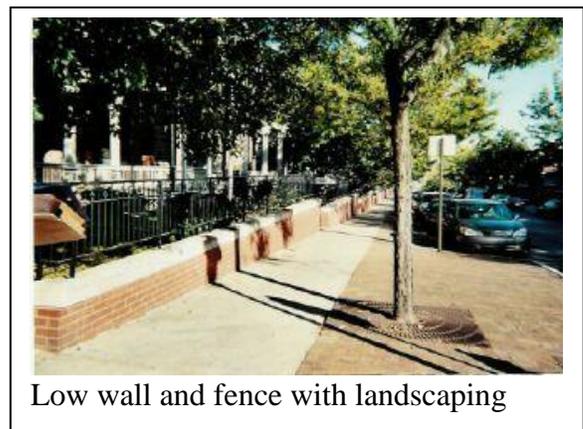
The following are design elements for residential development and redevelopment.

28-7.01 Front Yard - Treatment

1. Intent: To provide a feeling of separation between buildings and the public pedestrian realm so that front yards function as usable outdoor spaces.
2. Standards:

A. Required:

- (1) In new development and redevelopment front yards, including two side property lines and the street line, shall include at least two of the following transitional elements. Any transitional element over two feet high must be 80% transparent.



- a. Steps;
- b. Low fences, no more than 3 feet high;
- c. Trellises;
- d. Site furnishings;
- e. Low hedges, no more than 3 feet high;
- f. Landscaped borders; and/or
- g. Low walls, no more than 2 feet high, of decorative concrete, masonry or other similar material.

(2) Front yards shall include at least one of the following entrance elements between the sidewalk and the building:

- a. Gateways;
- b. Archways;
- c. Canopy;
- d. Arbor or Trellis;
- e. Variety of paving materials; or
- f. Pedestrian lighting

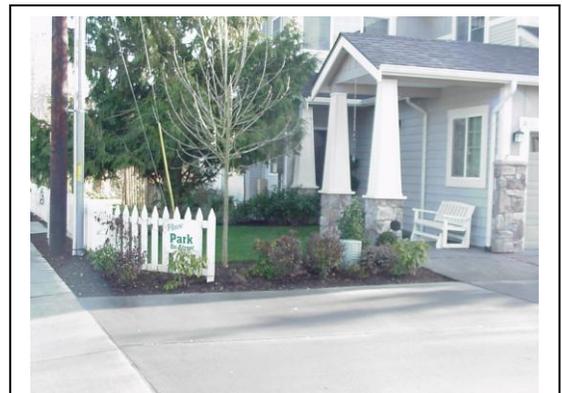


Front yard treatment for single-family detached homes

(3) Fencing shall be constructed of durable, weather-resistant and vandal resistant materials.

B. Encouraged:

- (1) Hedges and fences are encouraged to be a maximum of 2 feet high.
- (2) Existing residential single and multi-family residences are encouraged to incorporate standards 1, 2 and 3 above.



Front yard site furnishings for multi-family development

C. Not Allowed:

- (1) Transitional elements and entrance elements shall not interfere with the vision triangle as specified in the City of Raytown Zoning Ordinance at intersections or driveways.

- (2) Chain link and other wire fences shall not be allowed.

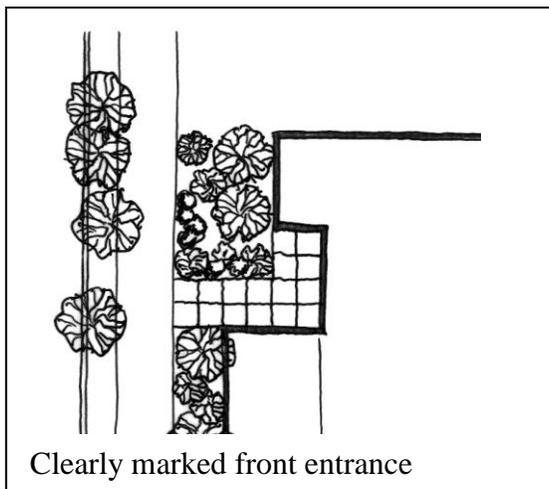
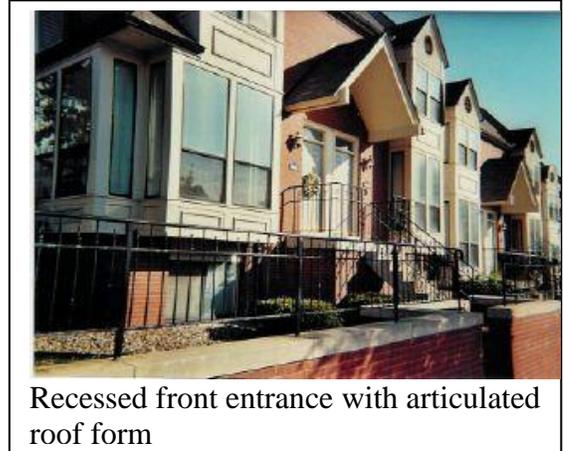
28-7.02 Entries Facing the Street

- 1. Intent: To provide a clearly defined, welcoming, and safe entry for pedestrians to multifamily dwellings, from the sidewalk into the building.

- 2. Standards:

- A. Required:

- (1) Architectural elements shall be used to provide a clearly identifiable and defensible entry* visible from the street.
- (2) Developments shall include at least two of the following architectural elements:
 - a. Recesses;
 - b. Balconies;
 - c. Articulated roof forms;
 - d. Front porches with a depth of at least 8-feet;
 - e. Arches; and/or
 - f. Glass at sides and/or above entry doors.
- (3) Developments shall include at least one of the following site furnishings:
 - a. Trellis;
 - b. Awning;
 - c. Canopy; or
 - d. Bench with a back
- (4) Pedestrian scale lighting and/or lighted bollards shall be provided.
- (5) Primary building entries shall face the street. If the doorway does not face the street, a clearly marked and well-maintained path shall connect the entry to the sidewalk.



- * Defensible entry is an industry-specific term that addresses the ability of a person to anticipate a path of travel, its obstructions, and points of vulnerability before moving through the space.

28-7.03 Private Outdoor Space

1. Intent: To provide private outdoor spaces that encourages a sense of ownership by residents.
2. Standards:
 - A. Required:
 - (1) Apply defensible space and clear entryway principles for multi-family dwellings.



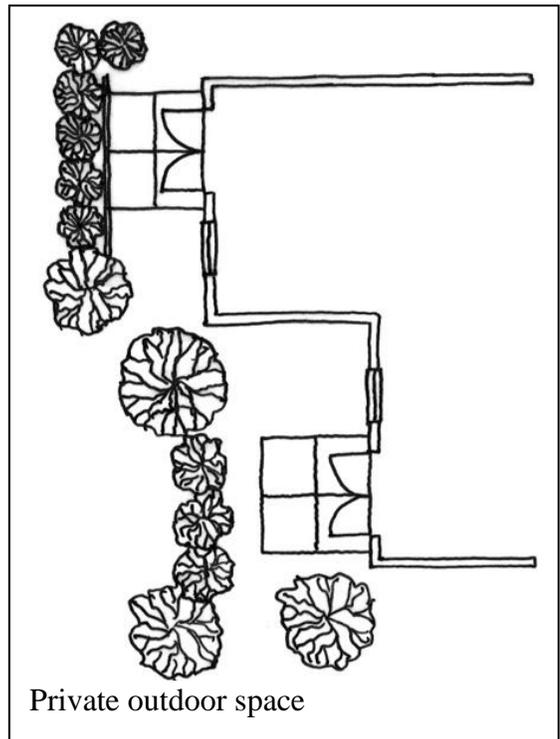
Private courtyard located interior to a multiple family development

- B. Encouraged:
 - (1) Low walls or partial walls, fences, hedges and landscaping in side and back yards may be used to define and/or visually shield outdoor spaces such as yards, decks, terraces, and patios from each other and from the street.

- * Defensible space is clearly associated with an individual dwelling unit and controlled by its occupants, but which the public may view.



Private outdoor space for an individual dwelling unit that is defined by landscaping



Private outdoor space

28-7.04 Site Landscape Areas

1. Intent: To reinforce the character of the downtown area and the surrounding natural environment through site landscaping.
2. Standards:

A. Required:

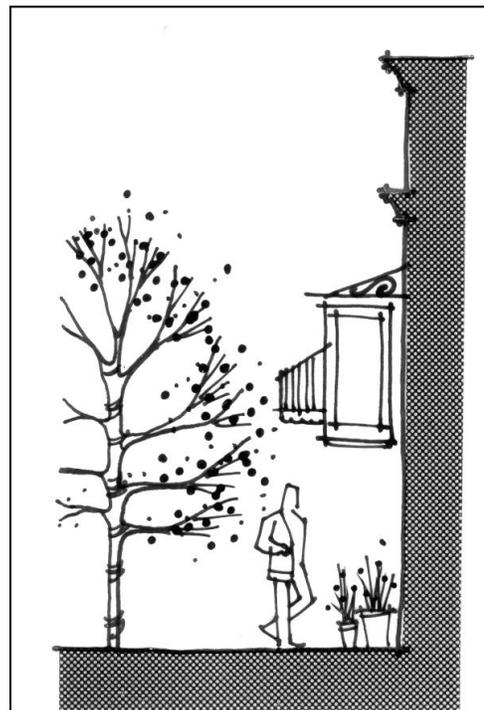
- (1) All areas not devoted to landscape required by these CBD Design Elements, the Raytown Zoning Ordinance, parking regulations, structures or other site improvements shall be planted, or remain in existing native, non-invasive drought-tolerant grass.
- (2) A minimum 20% of plant varieties shall provide year-round color, texture and/or other special interest.



Site landscaping feature

B. Encouraged:

- (1) Use of native plants is encouraged where opportunity allows reinforcing Raytown's unique natural setting. Minimum 20% of all landscape areas should include native drought-tolerant plant types.
- (2) Perennials and/or annuals are encouraged to provide special interest and highlight pedestrian areas such as building and/or site entrances, public open space, plazas and major pedestrian connections.



Landscaping at entrance to building

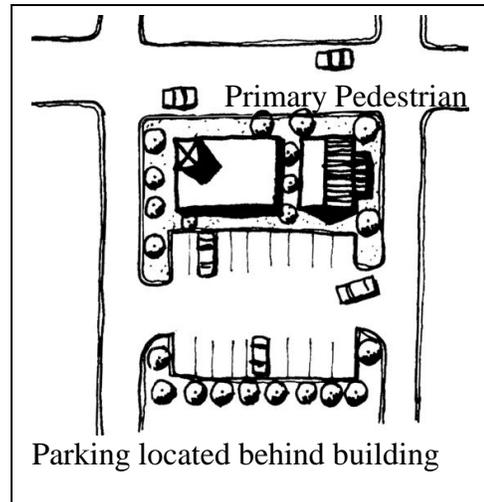
28-7.05 Location Of Parking Facilities

1. Intent: To maintain a contiguous, active pedestrian street front along streets by locating parking facilities behind buildings.

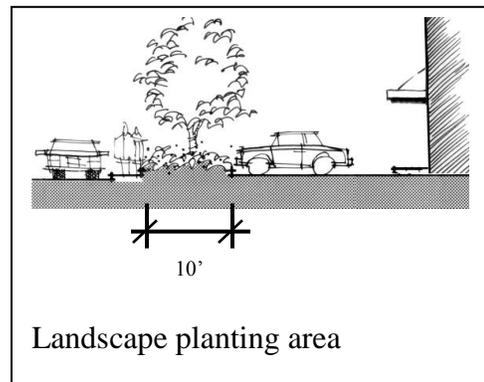
2. Standards:

A. Required:

(1) Garages and covered parking structures shall be constructed of similar materials and have similar architectural character as the principle building(s) on the property.



(2) New Development and Redevelopment—Parking facilities shall be located behind buildings. The Board of Aldermen as part of the preliminary site plan may approve an alternative to this design standard.



(3) Where an alternative to this design standard is approved and parking facilities are allowed to remain in front of or beside buildings, parking facilities shall provide a 10-foot wide planting area between the parking lot and street right-of-way to include:

- A year-round sight barrier;
- Evergreen shrubs;
- Evergreen ground cover; and
- Shrub material maintained at a maximum height of 3 feet for visibility.



- (4) All parking facilities (new development and redevelopment) shall comply with the parking lot standards set forth in the Raytown Zoning Ordinance including, but not limited to interior landscape areas, wheel stops, plant material requirements, and number of stalls.



- (5) The Board of Aldermen by ordinance must approve any gated parking facilities or gated portions as part of a preliminary site plan.

B. Encouraged:

- (1) Garages, rather than covered parking structures with open sides, are encouraged.
- (2) Rocks, pebbles, sand and similar non-living materials may be allowed as accent features within landscape planting areas so long as the area covered by such features does not exceed 5% of the total landscape planting area at five years growth.

C. Not Allowed:

- (1) Rocks, pebbles, sand and similar non-living materials may not be used as ground cover substitutes, but may be allowed as accent features within landscape planting areas so long as the area covered by such features does not exceed 25% of the total landscape planting area at five years growth.
- (2) Carports or other covered parking structures shall not be constructed of metal or PVC poles or have metal roofing materials.

28-7.06 Location of Driveways

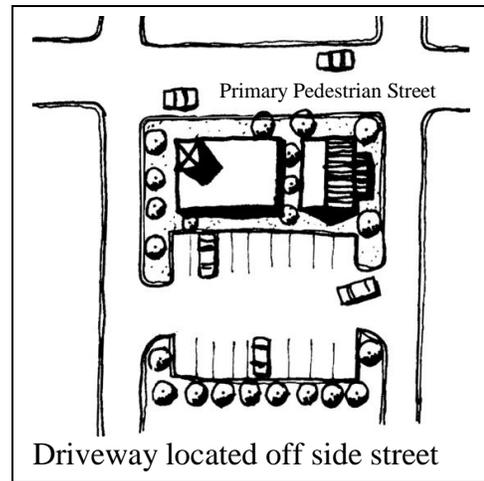
1. Intent: To maintain a contiguous, uninterrupted sidewalk by minimizing, consolidating and/or eliminating driveway access off Primary Pedestrian Streets.

2. Standards:

A. Required:

- (1) All vehicular driveways shall be located off side streets and alleys unless:

- a. The only means of access to the site is from a Primary Pedestrian Street;
- b. The development is located at the corner of two Primary Pedestrian Streets;
- c. The driveway is consolidated (shared) between adjacent developments; or
- d. The property cannot otherwise be accessed from a side street, alley or shared drive.



(2) Where a driveway is allowed on Primary Pedestrian Streets, driveway entrances shall:

- a. Include an identifying feature, such as a trellis, monument, low wall/column or special landscape treatment; and
- b. Sidewalk-paving material/treatment shall be extended across the driveway entrance.



- (3) Adjacent developments shall consolidate (share) vehicular driveways where feasible regardless of the type of street on which the driveway is located.
- (4) Apply defensible space and clear entryway principles for pedestrian access from driveways and parking areas to the development.
- (5) If used for identifying features in #2a above, the combination of walls and shrubs/ground cover shall not exceed a maximum height of 4 feet, unless all of the following are provided:
 - a. Wall/landscape treatment does not create a safety hazard;
 - b. Any portion of a wall/landscape treatment that is above 4 feet in height is a minimum 75% transparent (i.e. see-through metal railing, trellis, or other similar treatment); and
 - c. Any portion of a wall/landscape treatment that is above 4 feet in height provides added visual interest, detail and character.

B. Encouraged:

- (1) The width of the driveway(s) shall be of sufficient width to allow two vehicles to safely and easily pass and shall be designed in accordance with the City of Raytown Permitting, Development Design Criteria & Technical Specifications Manual.
- (2) Entrance drives shall provide a throat length that allows for efficient ingress and egress free from parking spaces backing into the drive.

C. Not Allowed:

- (1) No additions required in the Location of Driveways Standards will be permitted to block vehicular or pedestrian sightlines.

28-7.07 Parking Lot Landscape

1. Intent: To reduce the visual impact of parking lots through landscape areas, trellises and/or other architectural features.

2. Standards:

A. Required:

- (1) Parking lot landscape shall be used to reinforce pedestrian and vehicular circulation, such as:
 - a. Parking lot entrances;
 - b. Ends of driving aisles; and
 - c. To define pedestrian connections through parking lots.
- (2) Low walls (minimum 3-feet high) used to screen parking lots shall be made of decorative concrete, masonry or other similar material. Where walls and/or fences are provided, landscape-planting areas may be reduced to a minimum 5 feet and shall be located adjacent to the public right-of-way.
- (3) The combination of walls, fences and shrubs/ground cover shall not exceed a maximum height of 4 feet, unless all of the following are provided:
 - a. Wall/fence/landscape treatment does not create a safety hazard;
 - b. Portion of wall/fence/landscape treatment that is above 4-feet in height is a minimum 75% transparent (i.e. see-through metal railing, trellis, or other similar treatment); and



Landscape used to define end of driving aisle

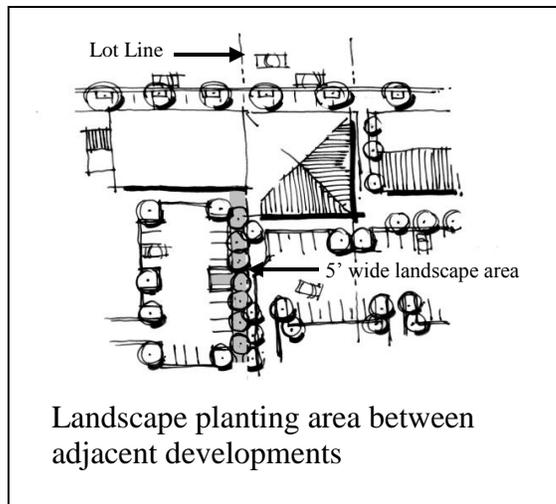
c. Portion of wall/fence/landscape treatment that is above 4 feet in height provides added visual interest, detail and character suitable to the nature of the downtown area.

(4) For any wall or fence above 6 feet total height, the entire wall/fence façade shall comply with the building design standards set forth in the CBD Design Elements for ground level details, materials, color, etc.

(5) A minimum 5-foot wide landscape planting area shall be provided between parking lots and adjacent developments to include a year-round sight barrier and meeting the requirements for parking lot landscape provided in the Raytown Zoning Ordinance.



Wall and landscaping used to screen parking lot



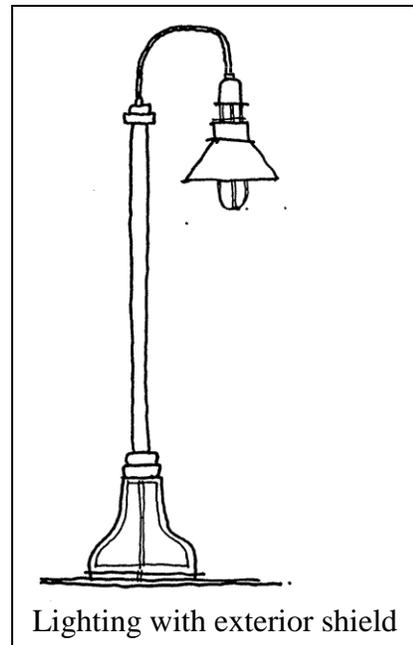
Landscape planting area between adjacent developments

B. Not Allowed:

- (1) Signage on parking lot walls or fences facing the street shall not be permitted.
- (2) Chain link and other wire fencing shall not be allowed to screen parking lots.

28-7.08 Parking Facility Lighting

- 1. Intent: To provide way-finding lighting to define pedestrian areas and promote public safety.

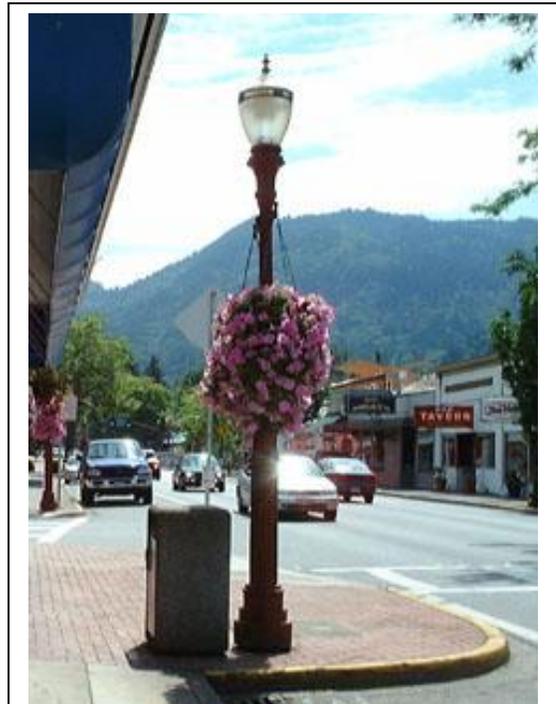


Lighting with exterior shield

2. Standards:

A. Required:

- (1) Lighting located within parking facilities shall be between 15 and 20-feet in height except where the lighting is intended to be used for pedestrian purposes as indicated in item 2 below.
- (2) In addition to parking facility lighting, pedestrian scale lighting shall be a maximum 14-feet in height.
- (3) Pedestrian scale lighting and/or bollard lighting shall be used to further define pedestrian walkways, crosswalks, connections to public right-of-way and/or other pedestrian areas within or besides parking facilities.



Light with interior light shield

- (4) All lighting (parking lot and pedestrian scale) shall be shielded from the sky and adjacent properties and structures, either through exterior shields or through optics within the fixture. No light projection should extend higher than horizontal from the light fixture.
- (5) All lighting (parking facility and pedestrian scale) shall reinforce the character of the downtown area and should complement other light fixtures through color, style and/or other architectural features of adjacent developments.

B. Encouraged:

- (1) Accent lighting should be used for pedestrian safety and to highlight special focal points, building/site entrances, public art and special landscape features.
- (2) Festival lighting is encouraged during holidays and festivals to reinforce the character and image of the downtown area.

C. Not Allowed:

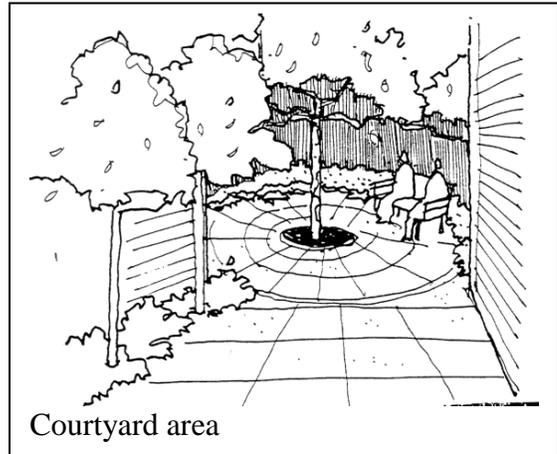
- (1) Permanent spotlights, lasers or other types of nuisance lighting is not allowed.

28-7.09 Courtyards, Plazas And Open Space

1. Intent: To reinforce the pedestrian nature of the downtown area by creating usable open space for pedestrians.
2. Standard:

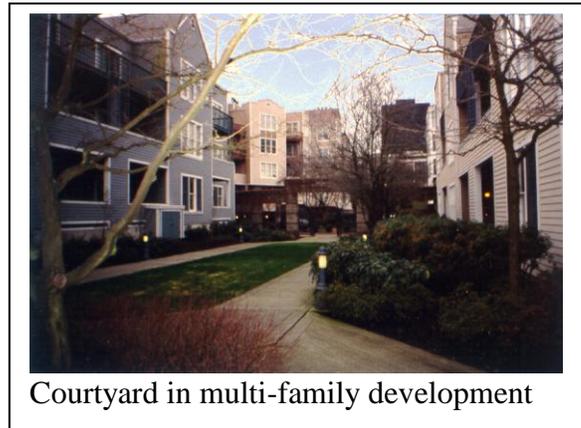
A. Required:

- (1) Where provided, pedestrian spaces shall be visible and accessible to the public.
- (2) Plazas, courtyards, green spaces and other pedestrian areas shall include landscaping and pedestrian scale lighting.



B. Encouraged:

- (1) If plazas, courtyards, green spaces and other pedestrian areas are provided, they should include public art, benches with backs, low seating walls, or other pedestrian amenities and site furnishings.
- (2) Use of brick, paver bricks, stone, concrete colored throughout or other special paving material should be provided to reinforce the character of downtown Raytown and create a more pedestrian-friendly area.
- (3) Plazas, courtyards, green spaces and other pedestrian areas should be provided within each block in the Town Square Neighborhood and no further than ¼ mile apart in all other CBD neighborhoods.



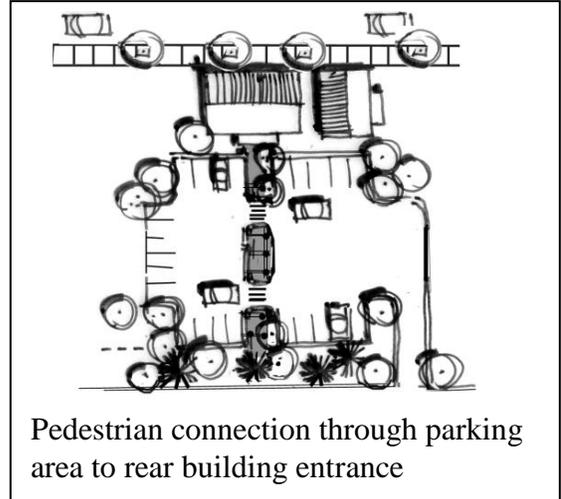
28-7.10 Pedestrian Connections

1. Intent: To create a network of linkages for pedestrians, including locating building entrances in closer proximity to sidewalks than in other areas of the City.

2. Standards:

A. Required:

- (1) Clearly defined pedestrian connections shall be provided:
- (2) Between a public right-of-way and building entrances when buildings are not located directly adjacent to the sidewalk; and
- (3) Between parking lots and building entrances.

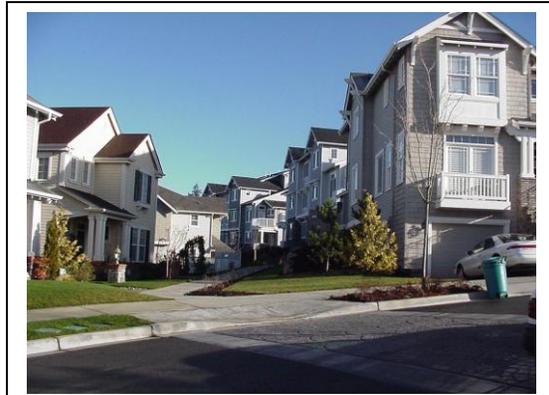


- (4) Pedestrian connections shall be separated from vehicular traffic in a combination of two or more of the following ways:
 - a. A 6 inch vertical curb, except where walkways cross vehicular travel lanes where sidewalk ramps are necessary;
 - b. A trellis, railing, bollard, special paving, low seat wall and/or other architectural features;
 - c. A continuous landscape area that is a minimum 6 feet wide on at least one side of the walkway, except where walkways cross vehicular travel lanes; and/or
 - d. Where a walkway abuts a driving aisle within a parking area, a minimum 6-foot wide landscape area shall be provided between the walkway and the driving aisle.



- (5) Where walkways abut a public right-of-way, a minimum 6-foot wide landscape area shall be provided between the walkway and the public right-of-way.
- (6) Pedestrian connections shall be reinforced with pedestrian scale lighting (maximum 14' height), bollard lighting, accent lighting or a combination thereof to aid in pedestrians way-finding.

- (7) Pedestrian connections that cross driveways or other vehicular or bicycle access shall be marked by using continuous sidewalk material consisting of either brick, paver bricks, stone or concrete that is stamped and colored throughout.



Clear sight lines provided at pedestrian connection

- (8) Pedestrian connections shall:
- Include clear sight lines to building entrances;
 - Be not less than 5 feet wide;
 - Connect to adjacent walkways; and
 - Be of the same color, texture and treatment as adjacent walkways.
- (9) Landscaping shall consist of drought-tolerant plantings such as evergreens, deciduous trees and shrubs, and decorative grasses. A minimum 20% of plant varieties shall provide year-round color, texture and/or other special interest. Shrubs shall be maintained at a maximum 3-foot height for visibility.

B. Encouraged:

- Pedestrian connections other than along public rights-of-way should occur between adjacent developments where feasible.
- Ground cover should be evergreen varieties.
- Perennials and/or annuals are encouraged to provide special interest and highlight pedestrian areas such as building and/or site entrances, public open space, plazas and major pedestrian connections.
- Rocks, pebbles, sand and similar non-living materials may be allowed as accent features within landscape planting areas so long as the area covered by such features does not exceed 5% of the total landscape planting area.

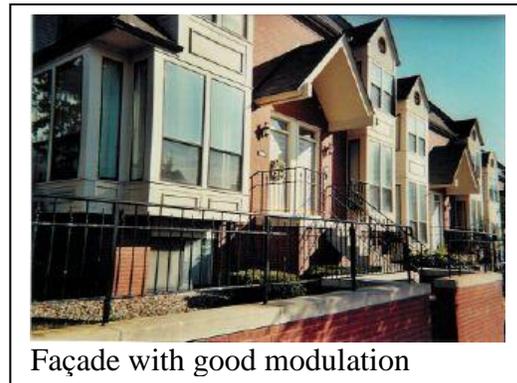
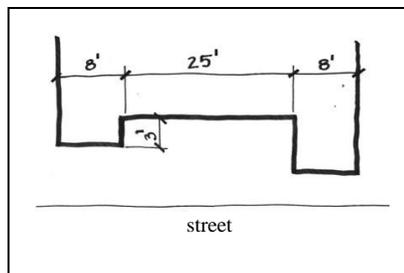
C. Not Allowed:

- Chain link and other wire fencing shall not be used.
- Rocks, pebbles, sand and similar non-living materials may not be used as ground cover substitutes, but may be used as accent features provided such features do not exceed a maximum 25% of the total landscape area.

Section 28-8 Residential Building Design Standards

28-8.01 Bulk of Buildings

1. Intent: To reduce the apparent bulk of buildings by breaking them down into smaller components that is visually consistent with a pedestrian scale:
2. Standards:
 - A. Required:
 - (1) Walls facing streets shall be modulated with bays and recesses at least 8 feet wide and no more than 25 feet wide and at least 3 feet deep.
 - (2) Modulation shall extend to the roof, except at balconies. The purpose is not to create a regular rigid solution but rather to break up the mass in creative ways.

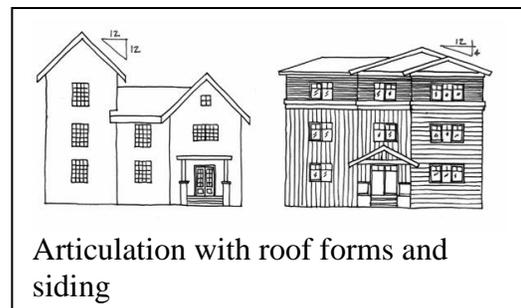


28-8.02 Articulation & Overall Massing of Buildings

1. Intent: To provide visual variety along the street.
2. Standards:

A. Required:

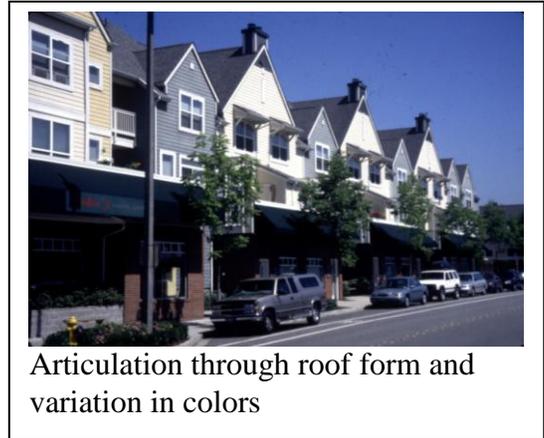
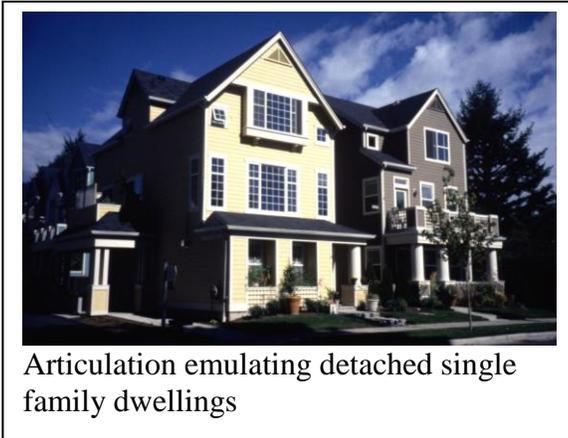
- (1) Buildings shall include articulation along the façades facing and visible from public rights-of-way. Flat blank walls are discouraged.
- (2) Horizontal façades longer than 25 feet shall be articulated into smaller units, reminiscent of the residential scale of the neighborhood. At least two of the following methods shall be included:
 - a. Distinctive roof forms;
 - b. Changes in materials;
 - c. Window patterns; and/or



d. Color differentiation

B. Encouraged:

- (1) Additions or alterations to existing buildings with unique architectural interest should be made sensitively and in keeping with the buildings' original architectural style.



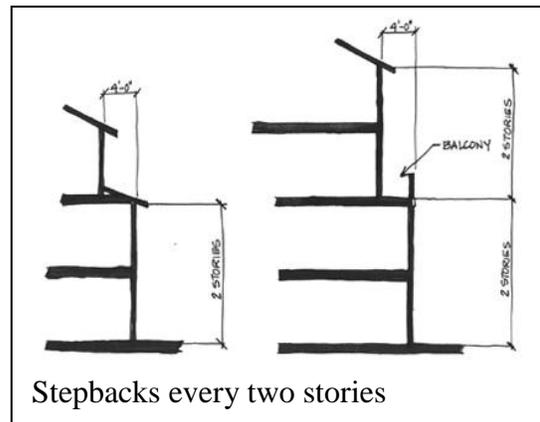
28-8.03 Upper Level Stepbacks

1. Intent: To enhance views of the surrounding area and to increase sunlight penetration to the public sidewalk.

2. Standards:

A. Required:

- (1) Multi-story buildings shall include step backs a minimum of 4 feet deep above the second level. Step backs shall be provided at every two floors minimum.

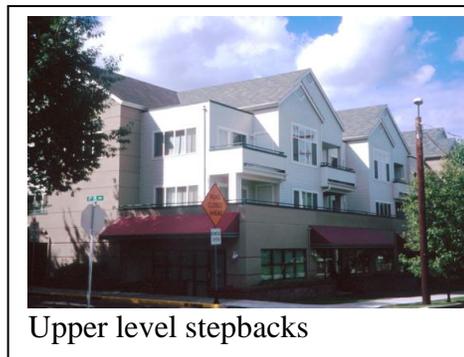


B. Encouraged:

- (1) Balconies may extend into the step back.

C. Not Required:

- (1) Upper level step backs are not required within 25 feet of street intersections, measured from the property line.



28-8.04 Addressing The Corner

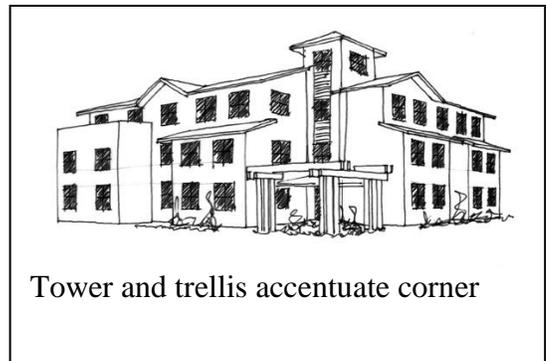
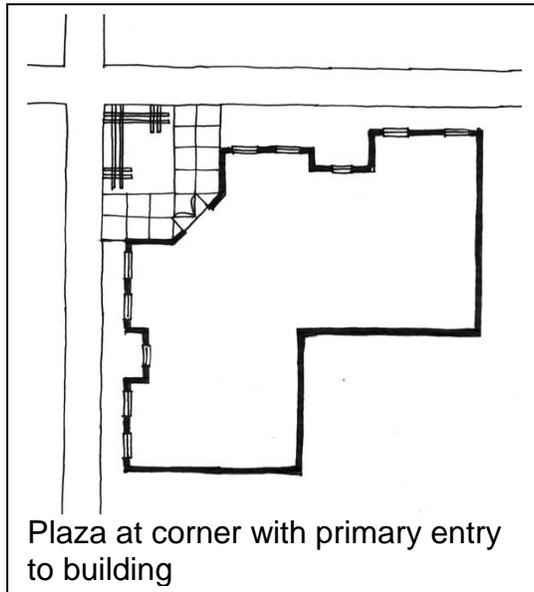
1. Intent: To provide a reference point at the end of a block of façades and to mark intersections, further providing visual interest to the street fabric.

2. Standards:

A. Required:

(1) Developments at street intersections shall emphasize this unique site aspect with two or more of the following methods:

- a. Placement of the primary entry;
- b. Articulation;
- c. Towers;
- d. Plazas;
- e. Distinctive roof forms;
- f. Other architectural features; and/or
- g. Landscaping



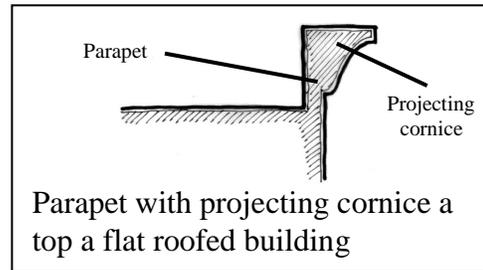
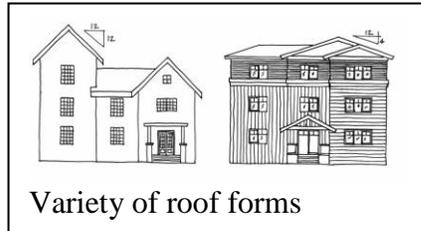
28-8.05 Pitched Roof Forms

1. Intent: To maintain and enhance the image and character of the Raytown CBD and its residential neighborhoods.

2. Standards:

A. Required:

- (1) All structures shall incorporate pitched roof forms having slopes between 4:12 and 12:12, except that structures located in the Town Square Neighborhood, may have a flat roof that shall include extended parapets and projecting cornices to create a prominent edge, when viewed against the sky from an adjoining street, parking area, public open space, or pedestrian connection.



- (2) Rooftop mounted equipment, vents and flues (other than chimneys) shall be screened so that they are not visible from ground level on neighboring properties.
- a. Rooftop mechanical equipment screens shall be required at a height that is as high or higher than the rooftop equipment being screened.
 - b. Screening shall be provided in a manner that is architecturally integral to the overall appearance of the building.
 - c. The use of parapet walls or specially designed rooftop penthouse enclosures is the preferred methods of screening for rooftop mechanical equipment.
 - d. Partition screens are generally less desirable for screening purposes. However, when using partition screens, the use, design, and material of the screen should blend with the building architecture and create a massing hierarchy that projects the same high quality appearance as the building façade.
 - e. The number of vents and flues shall be kept to a minimum and located in a manner to not be visible. On sloped roof structures, vents and flues shall be incorporated into architectural features or painted to blend with the roofing material.
 - f. The Board of Aldermen as part of the preliminary site plan may approve an alternative to this design standard, provided that in addition to the other criteria for approval of an alternative, the Board of Aldermen must also determine that one of the following exception criteria is valid:
 - i. A building is located at a higher elevation in relation to surrounding properties and it is demonstrated that rooftop equipment will not be visible.
 - ii. A building is located in the middle of an industrial park and rooftop equipment is not visible from arterial roadways, residential properties, nor will it have a negative impact upon any sensitive areas or scenic views or vistas.

- iii. A building is sited in a manner where the location and setback of rooftop equipment from the building edge is relation to the elevation and visibility of surrounding properties is such that the equipment will not be visible from any distance and additional screening measures are not required.

B. Encouraged:

- (1) Each façade facing a street should have a gabled form roof.
- (2) Other roof forms, such as hip roofs, dormers and overhangs are encouraged.



- (3) Dormers less than half the façade length may be pitched at shallower slopes or flat when appropriate.

28-8.06 Materials/Architectural Details

1. Intent:

- A. To encourage creative expression through diversity of architectural style that enlivens the street.
- B. To ensure a standard of quality that will be easily maintained and cared for over time.
- C. To encourage the use of materials appropriate to residential development and details that reduce the bulk of larger buildings.



2. Standards:

A. Required:

- (1) Façades facing a street shall be constructed of durable and maintainable materials. Materials that have texture, pattern and lend themselves to quality detailing include:
 - a. Brick
 - b. Stone

- c. Stucco (Dryvit or EIFS)
 - d. Marble
 - e. Ceramic
 - f. The Board of Aldermen as part of the preliminary site plan may approve an alternative to this design standard.
- (2) Architectural accents and projections on façades facing a street and façades not facing a street may be constructed of durable and maintainable materials other than those listed in number 1 above such as:
- a. Wood
 - b. Vinyl
 - c. Masonite

B. Encouraged:

- (1) Before adding or removing architectural details, restoring or making additions to a historic structure, applicants are encouraged to consult an architect or architectural historian regarding appropriate elements of style.
- (2) A combination of façade materials identified in number 1 above should be used on façades facing a street in order to create greater architectural interest.

C. Not Allowed:

- (1) Materials that give the appearance of heavy industrial uses, such as:
 - a. Reflective glass
 - b. Corrugated metal siding
- (2) Plywood or other materials providing a similar appearance shall not be allowed on any façade.

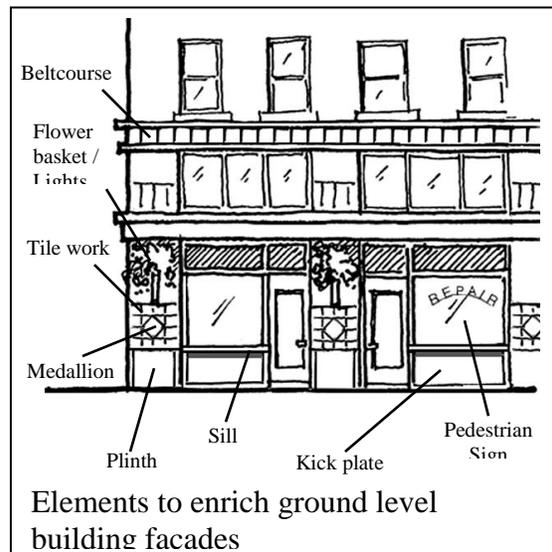
28-8.07 Ground Level Details (When Ground Floor is Commercial)

- 1. Intent: To ensure that mixed-use buildings that have commercial use on the ground floor display the greatest amount of visual interest and reinforce the character of the streetscape.

2. Standards:

A. Required:

- (1) A building located along a street shall incorporate at least three of the following



elements into any ground-floor, street-facing façade:

- a. Decorative lighting;
- b. Medallions;
- c. Belt Courses;
- d. Plinths for columns;
- e. Kick plate for storefront window;
- f. Projecting sills;
- g. Tilework; and/or
- h. Planter box.

28-8.08 Concealing Structured Parking

1. Intent: To integrate parking structures with the surrounding character.

2. Standards:

A. Required:

(1) The ground level of parking structures shall be screened from view to the greatest extent possible. At least two of the following shall be used to screen the structure:

- a. Residential uses or lobbies;
- b. Ornamental grillwork (plain vertical or horizontal bars are not acceptable);
- c. Decorative artwork, such as metal panels, murals, or mosaics;
- d. Landscape features described in the Site Design Guidelines; and/or
- e. Retail/commercial use, where appropriate.



B. Encouraged:

(1) Vehicular entrances shall be designed to incorporate architectural elements that frame the opening, such as an arch or lintel, pilasters, masonry trim, planters, or ornamental lighting.

EDITOR'S NOTES

1. This Section 28 was originally approved by Ordinance No. _____, on _____, 2003.
2. Certain photos and graphics in this Section 28 were prepared and provided by LMN Architects, 801 Second Ave, Suite 501, Seattle, WA 98104.